

# ENERGY EFFICIENCY REPORT

\*BASIX® Thermal Comfort Protocol Assessment (Simulation)

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## SITE ADDRESS

**Lot 24 Saltwater Crescent KELLYVILLE 2155**

## LOCAL GOVERNMENT AUTHORITY

**The Hills Shire**

## COMMISSIONED BY

**mcdonald jones**

## CLIENT

**Mr. Adam McKern & Mrs. Ping McKern**

## JOB NUMBER

**603164\_v2.0**

## PROJECT TYPE

**Single Separate Dwelling**

## DESCRIPTION

**Double Storey**

## DEPOSITED PLAN NUMBER

**1211773**

## CERTIFICATION DATE

**12/01/2017**

## DISCLAIMER AND CONDITION OF USE

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## PROJECT CERTIFICATION SUMMARY

## DESIGN AND APPROVED SOFTWARE INFORMATION

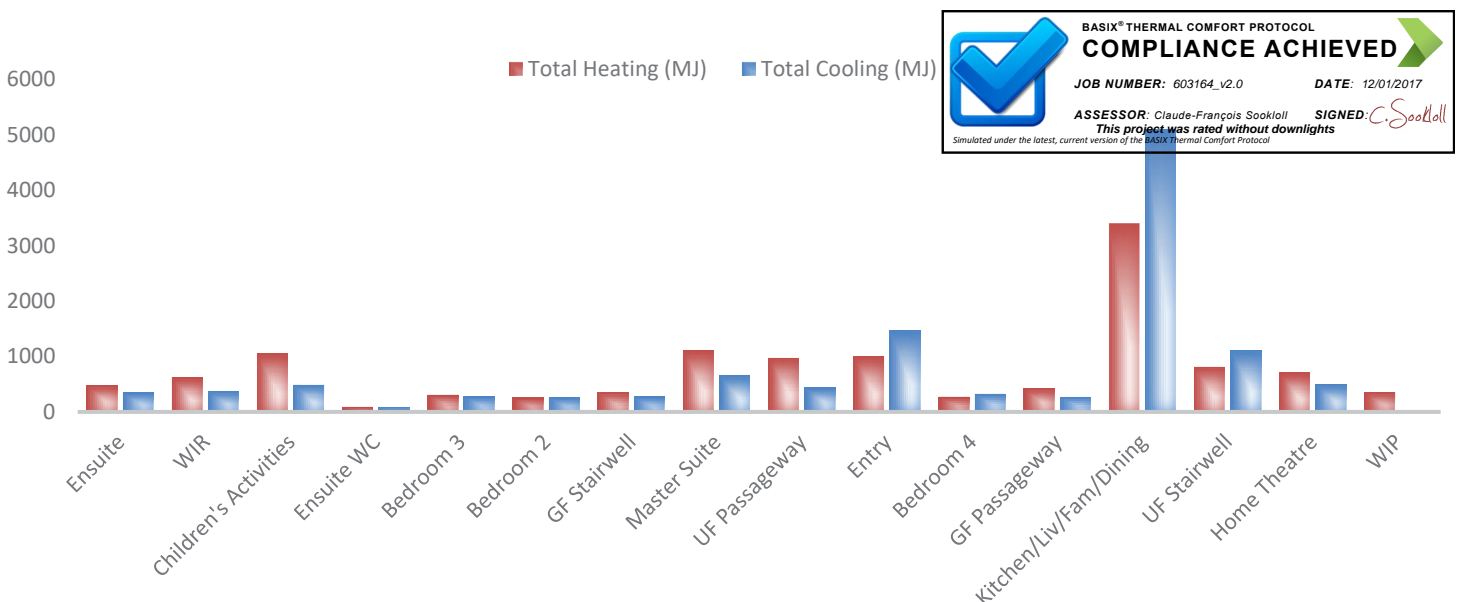
PROJECT SOFTWARE:	FirstRate5 (Chenath Engine 3.13)		m <sup>2</sup>
EXPOSURE	Suburban	Net Conditioned Floor Area (NCFA):	167.10
ORIENTATION:	44	Unconditioned Room Area:	14.30
NatHERS CLIMATE ZONE:	28	Garage Area:	31.5
BCA (NCC) CLIMATE ZONE:	6	<b>Total:</b>	<b>212.90</b>

## ASSESSMENT CALCULATIONS &amp; BASIX® THERMAL COMFORT SCORE

BASIX TARGET	(MJ/m <sup>2</sup> .pa)	PROPOSED:	(MJ/m <sup>2</sup> .pa)	PROPOSED BUILD EFFICIENCY BENCHMARK	
Heating:	74.0	Heating:	70.0	<b>PASS:</b>	5.6%
Cooling:	70.0	Cooling:	68.8	<b>PASS:</b>	1.7%
<b>Total:</b>	<b>144.0</b>	<b>Total:</b>	<b>138.8</b>		

## ZONED ENERGY LOAD DISTRIBUTION TOTALS (MJ)

The heating and cooling loads indicated are the simulated annual energy usages (MJ) for this home. The higher the load, the more energy needed to achieve thermal comfort.



## STATEMENT OF COMPLIANCE

I / We certify that we are specialists in the relevant discipline and the following design documents comply with the relevant requirements of the National Construction Code (NCC Volume One/Two as applicable) in relation to thermal performance and the relevant Australian Standards specified in this report.

ASSESSOR NAME:

C. Sookloll

SIGNATURE:

C. Sookloll

## RELEVANT QUALIFICATION STATEMENT

Certificate IV in NatHERS Assessment (Credential Number: TRF0002560)

Residential Building Thermal Performance Assessment (91318NSW) Course

Assessor Accrediting Organisation (AAO) Accreditation Number: VIC/BDV/14/1662

This has been assessed using software accredited under the Nationwide House Energy Rating Scheme (www.nathers.gov.au)

## ASSESSMENT MODELLING DECLARATION

I / We certify that the following statements are true and correct in regards to this assessment and comply with the requirements of the NCC Volume Two Energy Efficiency Provisions 2015 V2.6.2.2(b):

This project is deemed compliant according to the results in the Thermal Comfort Universal Certificate & BASIX® Certificate

This assessment was completed using house energy rating software accredited under the BASIX® Thermal Comfort Protocol 3.6 Table 1b

## BUILDING SPECIFICATION SUMMARY

## EXTERNAL WALLS

	CONSTRUCTION TYPE	INSULATION	NOTES
EXTERNAL WALLS	Other (see Notes)	None	Hebel Panel - No insulation to Garage walls
	Other (see Notes)	R2.0 Batts	Hebel Panel with Wall Wrap
ADDITIONAL NOTES	Location of Construction Material as per Drawings   No insulation to external Garage walls		

## INTERNAL WALLS

	CONSTRUCTION TYPE	INSULATION	NOTES
INTERNAL WALLS	Framed	Other (see Notes)	R1.7 Soundscreen Insulation **
	Framed	None	No insulation to remainder of the internal walls
ADDITIONAL NOTES	*Soundscreen Insul. to Master Suite, Bedrooms 2 & 4 ONLY   No insulation to the remainder of internal walls		

## ROOF AND CEILING

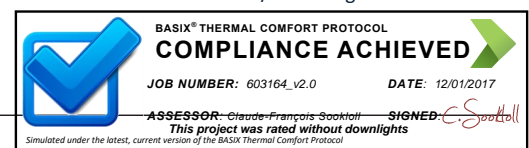
	CONSTRUCTION TYPE	INSULATION	NOTES
ROOF	Tiled (ventilated)	Sarking	Approx. 22"5' Roof Pitch
	Colorbond (un-ventilated)	Sarking	Approx. 3"0' Roof Pitch
CEILING	Plasterboard	R3.0 Batts	To House area
	Plasterboard	None	To Garage area
ADDITIONAL NOTES	Sarking to the underside of roof   Approximate location of Wind-Driven Ventilator (whirly-bird) as per Elevation Plans   BASIX Solar Absorptance Factor: Medium		

## FLOOR

	CONSTRUCTION TYPE	INSULATION	NOTES
FLOOR	225mm Waffle   85mm Slab	None	Ground Slab
	Timber Suspended	None	UF Floor/GF Ceiling
ADDITIONAL NOTES	Floor Coverings modelled per Drawings and NatHERS Protocols		

## EXTERNAL GLAZING

GLASS TYPE	COLOUR	FRAME	U <sub>w</sub> VALUE	SHGC	NOTES
Standard	Clear	Aluminium	6.43	0.76	Sliding Windows
Standard	Clear	Aluminium	6.34	0.75	Glazed Doors
Standard	Clear	Aluminium	6.85	0.64	Awning Windows

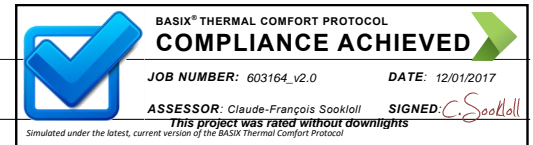


Note: Only a +/-5% SHGC tolerance is allowed with this rating. NB: This tolerance ONLY applies to SHGC, the U-value can always be lower but not higher than the values stated in the report. If any of the windows selected are outside the 5% tolerance then this certificate is no longer valid and the dwelling will need to be rerated to confirm compliance.

## ROOF LIGHTS AND SKYLIGHTS

GLASS TYPE	COLOUR	FRAME	U <sub>w</sub> VALUE	SHGC	NOTES
N/A	-	-	-	-	-

## ARTIFICIAL LIGHTING CALCULATIONS

AREA WITHIN THE CLASS 1 BUILDING 221.12 m<sup>2</sup>

MOUNTING	FITTING	WATTAGE	QUANTITY	TOTAL
Ceiling	Compact Fluoro	42	26	1092

	TOTAL	WATTAGE/m <sup>2</sup>
<b>PASS</b>	Project: 1092	4.94
	Allowance: 1106	5.00

AREA WITHIN OUTDOOR AREAS 38.06 m<sup>2</sup>

MOUNTING	FITTING	WATTAGE	QUANTITY	TOTAL
Ceiling	Compact Fluoro	42	3	126

	TOTAL	WATTAGE/m <sup>2</sup>
<b>PASS</b>	Project: 126	3.31
	Allowance: 1106	5.00

AREA WITHIN CLASS 10 BUILDING 34.52 m<sup>2</sup>

MOUNTING	FITTING	WATTAGE	QUANTITY	TOTAL
Ceiling	Compact Fluoro	42	2	84

	TOTAL	WATTAGE/m <sup>2</sup>
<b>PASS</b>	Project: 84	2.43
	Allowance: 1106	5.00

## CEILING INSULATION PENETRATION CALCULATIONS

ROUND	DIAMETER (mm)	TOTAL
Exhaust Fan	250	1

SQUARE/RECTANGULAR	LENGTH (mm)	WIDTH (mm)	TOTAL
Ventilation for Rangehood	185	185	1
Ventilation for Gas Point	250	250	1

RECESSED LIGHT FITTINGS	DIAMETER (mm)	TOTAL
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TOTAL AREA OF INSULATION PENETRATIONS	0.15	m <sup>2</sup>	<b>0.10%</b>	COMPLIANT - DOES NOT EXCEED MAXIMUM NOMINATED
TOTAL INSULATION AREA	153.1	m <sup>2</sup>		

## NSW ADDITIONS: BUILDING FABRIC THERMAL INSULATION

### NSW 3.12.1 APPLICATION OF NSW PART 3.12.1

- (a) Compliance with NSW 3.12.1.1 satisfies NSW P2.6.1(a) for thermal insulation and thermal breaks.
- (b) NSW PART 3.12.1 only applies to thermal insulation in a Class 1 or 10 building where a development consent specifies that the insulation is to be provided as part of the development.
- (c) In (b), the term development consent has the meaning given by the Environmental Planning and Assessment Act 1979.
- (d) The Deemed-to-Satisfy Provisions of this Part for thermal breaks apply to all Class 1 buildings and Class 10a buildings with a conditioned space.

### NSW 3.12.1.1 COMPLIANCE WITH BCA PROVISIONS

- (a) Thermal insulation in a building must comply with the national BCA provisions of 3.12.1.1.
- (b) A thermal break must be provided between the external cladding and framing in accordance with national BCA provisions of—
- (i) 3.12.1.2(c) for a metal framed roof; and
  - (ii) 3.12.1.4(b) for a metal framed wall.
- (c) Compensation for reduction in ceiling insulation must comply with the national BCA provisions of 3.12.1.2(e).
- (d) A floor with an in-slab or in-screed heating or cooling system must comply with the national BCA provisions of—
- (i) 3.12.1.5(a)(ii), (iii) and (e) for a suspended floor; or
  - (ii) 3.12.1.5(c), (d) and (e) for a concrete slab-on-ground.



## BUILDING SEALING & SERVICES

### NSW 3.12.3 APPLICATION OF NSW PART 3.12.3

- (a) Compliance with NSW 3.12.3.1 satisfies NSW P2.6.1(b) for building sealing.
- (b) NSW Part 3.12.3 is not applicable to—
- (i) existing buildings being relocated; or
  - (ii) Class 10a buildings—
    - (A) without a conditioned space; or
    - (B) for the accommodation of vehicles; or
  - (iii) parts of buildings that cannot be fully enclosed; or
  - (iv) a permanent building opening, in a space where a gas appliance is located, that is necessary for the safe operation of a gas appliance; or
  - (v) a building in climate zones 2 and 5 where the only means of air-conditioning is by using an evaporative cooler.

### NSW 3.12.3.1 COMPLIANCE WITH BCA PROVISIONS

The sealing of a building must comply with the national BCA provisions 3.12.3.1 to 3.12.3.6.

### NSW 3.12.5 SERVICES: APPLICATION OF NSW PART 3.12.5

- (a) Compliance with NSW 3.12.5.1 satisfies NSW P2.6.2 for services.
- (b) NSW Part 3.12.5 is not applicable to existing services associated with existing buildings being relocated.

### NSW 3.12.5.1 COMPLIANCE WITH BCA PROVISIONS

Services must comply with the national BCA provisions 3.12.5.0 to 3.12.5.3.

# Nationwide House Energy Rating Scheme\* Certificate

Certificate Number: **5KXJCS03WF**

Date of Certificate: **12 Jan 2017**

★ Star rating: **4.2**



## Assessor details

Accreditation number: **VIC/BDAV/14/1662**  
Name: **Claude-Francois Sookloll**  
Organisation: **Energy Advance**  
Email: **energy@energyadvance.com.au**  
Phone: **1300 850 228**  
Declaration of interest: **No potential conflicts of interest to declare**  
Software: **FirstRate5: 5.2.4a (3.13)**  
AAO: **BDAV**

## Overview

### Dwelling details

Address: **Lot 24 Saltwater Crescent KELLYVILLE**  
Suburb: **The Hills Shire**  
State: **NSW** Postcode: **2155**  
Type: **New Home** NCC Class: **Class 1a**  
Lot/DP number: **24/1211773** NatHERS climate zone: **28**  
Exposure: **suburban**

### Key construction and insulation materials

(see following pages for details)

Construction: Wall: **Hebel Panel**  
Roof: **Tiled (sarked)**  
Floor: **Waffle Pod (225/85)**  
Insulation: Wall: **R2.0 Batts (excl. Garage)**  
Roof: **R3.0 Batts (excl. Garage)**  
Floor: **Waffle Pod (225/85)**  
Glazing: **Aluminium**  
**Single Glazed**

### Net floor area (m<sup>2</sup>)

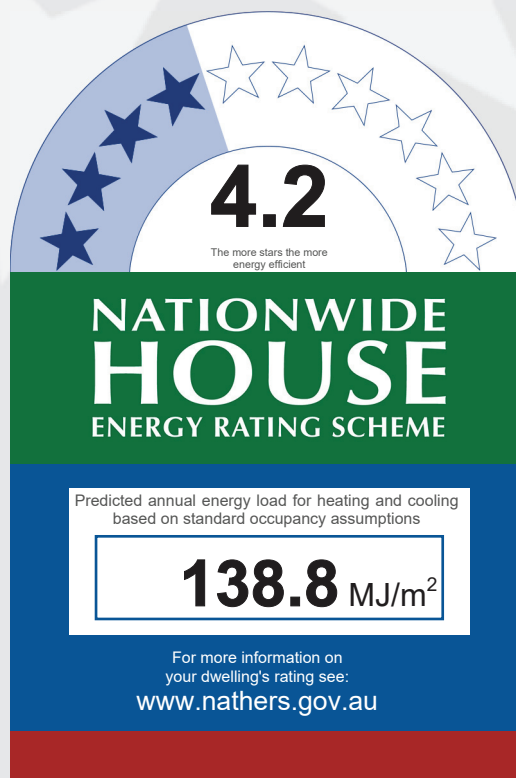
Conditioned: **167.1**  
Unconditioned: **14.3**  
Garage: **31.5**  
TOTAL: **212.9**

### Annual thermal performance loads (MJ/m<sup>2</sup>)

Heating: **70**  
Cooling: **68.8**  
TOTAL: **138.8**

### Plan documents

Plan ref/date: **603164\_v2.0 | 12/01/2017**  
Prepared by: **mcdonald jones**



### Ceiling penetrations

(see following pages for details)

Sealed: **2**  
Unsealed: **1**  
TOTAL:\*\* **3**

Principal downlight type: **No downlights modelled**

\*\*NOTE: This total is the maximum number of ceiling penetrations allowed to a ceiling (under a roof) for this certificate. **If this number is exceeded in construction then this certificate IS NOT VALID and a new certificate is required.** Loss of ceiling insulation for the penetrations listed has been taken into account with the rating.

### Window selection - default windows only

Note on allowable window values: Only a 5% tolerance to the nominated SHGC window values shown on page 2 can be used with this rating.

**Note: Only a +/-5% SHGC tolerance is allowed with this rating.**

NB: This tolerance ONLY applies to SHGC, the U-value can always be lower but not higher than the values stated on page 2.

**If any of the windows selected are outside the 5% tolerance then this certificate is no longer valid and the dwelling will need to be rerated to confirm compliance.**

Scan to access this certificate online and confirm this is valid.



<https://www.fr5.com.au/QRCodeLanding?PublicId=5KXJCS03WF>

# Nationwide House Energy Rating Scheme\* Certificate

Certificate Number: **5KXJCS03WF**

Date of Certificate: **12 Jan 2017**

★ Star rating: **4.2**



## Building Features

### Windows type and performance value

Window ID	Window type	U-value	SHGC
BRD-001-01 A	ESS Sliding Window (52mm) SG 3Clr	6.43	0.76
BRD-020-01 A	Al Sliding Door SG 4Clr	6.34	0.75
BRD-081-16 A	Signature Awning Window 100 SG 4Clr	6.85	0.64

### Windows schedule

Window ID	Window no.	Height (mm)	Width (mm)	Orientation	Zone name	Outdoor shade
BRD-001-01 A	W06	600	3010	SE	Home Theatre	No
BRD-020-01 A	D01	2106	1200	NE	Entry	No
BRD-001-01 A	W01	2080	1810	NW	Entry	No
BRD-020-01 A	D02	2106	820	NW	Laundry	No
BRD-081-16 A	W02	1030	610	NW	Powder	No
BRD-020-01 A	D03	2100	2328	SW	Kitchen/Liv/Fam/Dining	No
BRD-020-01 A	D04	2100	3228	NW	Kitchen/Liv/Fam/Dining	No
BRD-081-16 A	W04	2080	850	SW	Kitchen/Liv/Fam/Dining	No
BRD-081-16 A	W05	2080	850	SW	Kitchen/Liv/Fam/Dining	No
BRD-001-01 A	W03	1800	2410	NW	Kitchen/Liv/Fam/Dining	No
BRD-020-01 A	W20	2080	1810	NE	Garage	No
BRD-001-01 A	W19	600	3010	SE	Master Suite	No
BRD-020-01 A	D05	2100	3288	NE	Master Suite	No
BRD-081-16 A	W17	1200	1570	SE	Bedroom 2	No
BRD-081-16 A	W16	1200	1570	SE	Bedroom 3	No
BRD-081-16 A	W14	1200	610	NW	Bedroom 4	No
BRD-081-16 A	W15	1200	610	NW	Bedroom 4	No
BRD-001-01 A	W18	860	2650	SE	Children's Activities	No
BRD-081-16 A	W11	2080	1810	NW	UF Stairwell	No
BRD-081-16 A	W07	1560	1570	NE	WIR	No
BRD-081-16 A	W08	2080	610	NW	Ensuite	No
BRD-081-16 A	W09	2080	610	NW	Ensuite	No
BRD-081-16 A	W10	1030	610	NW	Ensuite WC	No
BRD-081-16 A	W12	1460	1570	NW	Bath	No
BRD-081-16 A	W13	1030	610	NW	WC	No

### Roof windows and skylight type and performance value

# Nationwide House Energy Rating Scheme\* Certificate

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Date of Certificate: **12 Jan 2017**

★ Star rating: **4.2**



## Building Features

ID	Window type	U-value	SHGC
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### Roof window and skylight schedule

ID	Roof window/ skylight no.	Area (m <sup>2</sup> )	Orientation	Zone name	Outdoor shade	Indoor shade/diffuser
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### External wall type

Type	Insulation	Wall wrap
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	Glass fibre batt: R2.0 (R2.0)	Yes
2 : MJH - Hebel Panel Construction (Rendered) -Uninsulated		No

### External wall schedule

Wall type	Area (m <sup>2</sup> )	Orientation	Zone name	Fixed shade	Eaves
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	9.8	SE	Home Theatre	Yes	No
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	5.5	NE	Entry	Yes	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	8.7	NW	Entry	No	No
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	7.4	NW	GF Stairwell	No	No
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	3.9	NW	Laundry	No	No
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	3.4	NW	Powder	No	No
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	5	SE	WIP	Yes	No
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	6.5	SW	Kitchen/Liv/Fam/Dining	Yes	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	10.1	NW	Kitchen/Liv/Fam/Dining	Yes	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	2.8	SW	Kitchen/Liv/Fam/Dining	No	No
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	6.9	SW	Kitchen/Liv/Fam/Dining	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	9.5	SE	Kitchen/Liv/Fam/Dining	Yes	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	10.3	SE	Kitchen/Liv/Fam/Dining	Yes	No



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## Building Features

1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	9.7	NW	Kitchen/Liv/Fam/Dining	No	No
2 : MJH - Hebel Panel Construction (Rendered) -Uninsulated	4.7	NW	Garage	Yes	Yes
2 : MJH - Hebel Panel Construction (Rendered) -Uninsulated	0.6	NE	Garage	Yes	No
2 : MJH - Hebel Panel Construction (Rendered) -Uninsulated	3.5	SW	Garage	Yes	No
2 : MJH - Hebel Panel Construction (Rendered) -Uninsulated	13.7	SE	Garage	No	No
2 : MJH - Hebel Panel Construction (Rendered) -Uninsulated	13.4	NE	Garage	Yes	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	9.4	SE	Master Suite	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	9.6	NE	Master Suite	Yes	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	9.1	SE	Bedroom 2	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	7.3	SW	Bedroom 3	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	9.8	SE	Bedroom 3	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	8.8	SW	Bedroom 4	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	8.2	NW	Bedroom 4	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	9.7	SE	Children's Activities	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	7.4	NW	UF Stairwell	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	4.8	NW	WIR	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	2.8	SE	WIR	Yes	No
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	1.4	NE	WIR	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	5	NE	WIR	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	8.5	NW	Ensuite	No	Yes
1 : MJH - Hebel Panel Construction (Rendered) -R2.0 Batts +MD Wrap	2.1	NW	Ensuite WC	No	Yes
1 : MJH - Hebel Panel Construction	6.6	NW	Bath	No	Yes

# Nationwide House Energy Rating Scheme\* Certificate

Certificate Number: **5KXJCS03WF**

Date of Certificate: **12 Jan 2017**

★ Star rating: **4.2**



## Building Features

(Rendered) -R2.0 Batts +MD Wrap

1 : MJH - Hebel Panel Construction  
(Rendered) -R2.0 Batts +MD Wrap

2.2

NW

WC

No

Yes

### Internal wall type

Type	Area (m <sup>2</sup> )	Insulation
1 : MJH - Internal Stud Walls	306.4	
2 : MJH - Internal Stud Walls -R1.7 Soundscreen	120.4	Glass fibre batt (k = 0.044 density = 12 kg/m3) (R1.7)

### Floors

Location	Construction	Area (m <sup>2</sup> )	Sub floor ventilation	Added insulation	Covering
Home Theatre	Waffle Pod : 225-85: 225mm waffle pod, 85mm concrete (R0.7)	12.7	Enclosed	0.0	Carpet
Entry	Waffle Pod : 225-85: 225mm waffle pod, 85mm concrete (R0.7)	8.1	Enclosed	0.0	Carpet
GF Passageway	Waffle Pod : 225-85: 225mm waffle pod, 85mm concrete (R0.7)	9.7	Enclosed	0.0	Carpet
GF Stairwell	Waffle Pod : 225-85: 225mm waffle pod, 85mm concrete (R0.7)	4.1	Enclosed	0.0	Carpet
Laundry	Waffle Pod : 225-85: 225mm waffle pod, 85mm concrete (R0.7)	3.5	Enclosed	0.0	Tiles
Powder	Waffle Pod : 225-85: 225mm waffle pod, 85mm concrete (R0.7)	3	Enclosed	0.0	Tiles
WIP	Waffle Pod : 225-85: 225mm waffle pod, 85mm concrete (R0.7)	4.7	Enclosed	0.0	Tiles
Kitchen/Liv/Fam/Dining	Waffle Pod : 225-85: 225mm waffle pod, 85mm concrete (R0.7)	27.9	Enclosed	0.0	Tiles
Kitchen/Liv/Fam/Dining	Waffle Pod : 225-85: 225mm waffle pod, 85mm concrete (R0.7)	15.2	Elevated	0.0	Tiles
Garage	Waffle Pod : 225-85: 225mm waffle pod, 85mm concrete (R0.7)	24.4	Enclosed	0.0	none
Garage	Waffle Pod : 225-85: 225mm waffle pod, 85mm concrete (R0.7)	6.9	Enclosed	0.0	none
Master Suite	Timber	15.1	Enclosed	0.0	Carpet
Bedroom 2	Timber	11.2	Enclosed	0.0	Carpet
Bedroom 3	Timber	11.3	Enclosed	0.0	Carpet
Bedroom 4	Timber	11.7	Enclosed	0.0	Carpet
Children's Activities	Timber	11.6	Enclosed	0.0	Carpet
UF Passageway	Timber	11.9	Enclosed	0.0	Carpet

# Nationwide House Energy Rating Scheme\* Certificate

Certificate Number: **5KXJCS03WF**

Date of Certificate: **12 Jan 2017**

★ Star rating: **4.2**



## Building Features

UF Stairwell	Timber	6.8	Enclosed	0.0	Carpet
WIR	Timber	5.1	Elevated	0.0	Carpet
Ensuite	Timber	8.5	Enclosed	0.0	Tiles
Ensuite WC	Timber	1.4	Enclosed	0.0	Tiles
Bath	Timber	6.2	Enclosed	0.0	Tiles
WC	Timber	1.6	Enclosed	0.0	Tiles

## Ceiling type

Location	Material	Added insulation	Roof space above
Home Theatre	Plasterboard	0.0	No
Home Theatre	Plasterboard	0.0	No
Home Theatre	Plasterboard	0.0	No
Entry	Plasterboard	0.0	No
Entry	Plasterboard	0.0	No
Entry	Plasterboard	0.0	No
GF Passageway	Plasterboard	0.0	No
GF Passageway	Plasterboard	0.0	No
GF Passageway	Plasterboard	0.0	No
GF Stairwell	Plasterboard	0.0	No
Laundry	Plasterboard	0.0	No
Powder	Plasterboard	0.0	No
Powder	Plasterboard	0.0	No
Powder	Plasterboard	0.0	No
WIP	Plasterboard	0.0	No
Kitchen/Liv/Fam/Dining	Plasterboard	0.0	No
Kitchen/Liv/Fam/Dining	Plasterboard	0.0	No
Kitchen/Liv/Fam/Dining	Plasterboard	0.0	No
Kitchen/Liv/Fam/Dining	Plasterboard	0.0	No
Kitchen/Liv/Fam/Dining	Plasterboard	0.0	No
Kitchen/Liv/Fam/Dining	Plasterboard	3.0	Yes
Garage	Plasterboard	0.0	No
Garage	Plasterboard	0.0	No
Garage	Plasterboard	0.0	No
Garage	Plasterboard	0.0	No
Garage	Plasterboard	0.0	No

# Nationwide House Energy Rating Scheme\* Certificate

Certificate Number: **5KXJCS03WF**

Date of Certificate: **12 Jan 2017**

★ Star rating: **4.2**



## Building Features

Garage	Plasterboard	0.0	Yes
Master Suite	Plasterboard	3.0	Yes
Bedroom 2	Plasterboard	3.0	Yes
Bedroom 3	Plasterboard	3.0	Yes
Bedroom 4	Plasterboard	3.0	Yes
Children's Activities	Plasterboard	3.0	Yes
UF Passageway	Plasterboard	3.0	Yes
UF Stairwell	Plasterboard	3.0	Yes
WIR	Plasterboard	3.0	Yes
Ensuite	Plasterboard	3.0	Yes
Ensuite WC	Plasterboard	3.0	Yes
Bath	Plasterboard	3.0	Yes
WC	Plasterboard	3.0	Yes

### Ceiling penetrations

Location	Number	Type	Width (mm)	Length (mm)	Seal/ unsealed
Powder	1	Exhaust Fans	250	250	Sealed
Kitchen/Liv/Fam/Dining	1	Exhaust Fans	185	185	Sealed
Kitchen/Liv/Fam/Dining	1	Unflued Gas Heaters	250	250	Unsealed

### Ceiling fans

Location	Number	Diameter (mm)
----------	--------	---------------

### Roof type

Material	Added insulation	Roof colour
Vent:Attic-Vented	0.0	medium
Cont:Attic-Continuous	0.0	medium

# Nationwide House Energy Rating Scheme\* Certificate

Certificate Number: **5KXJCS03WF**

Date of Certificate: **12 Jan 2017**

★ Star rating: **4.2**



## Additional information

BCA Climate Zone: 6

## Explanatory notes

### About this report

Residential energy ratings address the quality of the building fabric i.e. walls, windows, floors and roof/ceilings. Ratings do not cover the energy or water efficiency of appliances including heating and cooling, hot water, dishwashers, ovens, fridges, TVs etc. or solar panel or water tank requirements. The efficiency or specification of these items is generally covered by other regulations, standards or guidelines.

### General Information

A NatHERS House Energy Rating is a comprehensive, dynamic computer modelling evaluation of the floorplans, elevations and specifications to predict an energy load of a home. Not all of us use our homes in the same way, so ratings are generated using standard assumptions. This means homes can be compared across the country.

The actual energy consumption of your home may vary significantly from the predicted energy load figures in this report depending on issues such as the size of your household and your personal preferences, e.g. in terms of heating or cooling.

While the figures are an indicative guide to energy use, they can be used as a reliable guide for comparative purposes between different house designs and for demonstrating that the design meets the required regulatory compliance.

Homes that are energy efficient use less energy, are warmer in winter, cooler in summer and cost less to run. The higher the star rating the more energy efficient.

This NatHERS House Energy Rating report was carefully prepared by your assessor on the basis of comprehensive modelling using standard procedures to rate your home using an underlying engine developed by the Australian Commonwealth Scientific and Industrial Research Organisation (CSIRO).

All information relating to energy loads presented in this report is based on a range of standard assumptions in order to allow for comparisons with reports prepared for other homes and to demonstrate minimum regulatory compliance. The standard assumptions include figures for occupancy, indoor air temperature and are based on a unique climate file for your region.

### Accredited Assessors

To ensure you get a high-quality, professional NatHERS House Energy Rating report, you should always use an accredited assessor, accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO).

AAOs have specific quality assurance processes in place and continuing professional development requirements to maintain a high and consistent standard of assessments across the country. Non-accredited assessors do not have this level of quality assurance or any on-going training requirements.

If you have any questions or concerns about this report, please direct them to your assessor in the first instance.

If your assessor is unable to address your questions or concerns, please contact their AAO listed under 'assessor details'. You can also find a range of information about accredited assessors on the AAO websites.

### Disclaimer

The energy values quoted are for comparison purposes only; they are not a prediction of actual energy use. This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached drawing set that bears a stamp with the same number as this certificate. Changes to any of these details could affect the rating.

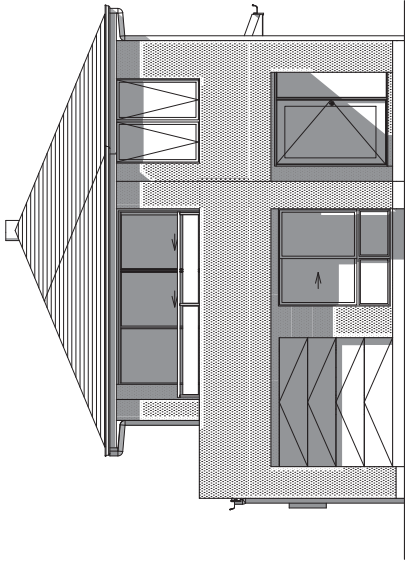
### Contact

For more information on the Nationwide House Energy Rating Scheme (NatHERS), visit [www.nathers.gov.au](http://www.nathers.gov.au)

For more information on energy efficient design and insulation visit [www.yourhome.gov.au](http://www.yourhome.gov.au)

SHEET INDEX

No.	NAME
1	COVER SHEET
2	SITE PLAN
3	JUNE 21 SHADOW DIAGRAMS
4	GROUND FLOOR PLAN
5	FIRST FLOOR PLAN
6	DOOR & WINDOW SCHEDULES
7	ELEVATIONS / SECTION
8	ELEVATIONS
9	KITCHEN DETAILS
10	POWDER ROOM / LAUNDRY DETAILS
11	BATHROOM DETAILS
12	ENSUITE DETAILS
13	RECYCLED WATER / FLOOR COVERINGS 2
14	RECYCLED WATER / FLOOR COVERINGS 2
15	SLAB PLAN
16	DRAINAGE PLAN



SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

- 3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
- 3 STAR TOILET SUITES
- 3 STAR KITCHEN TAPS
- 3 STAR BATHROOM TAPS

195.72 m² TOTAL ROOF AREA

- 4500 L WATER TANK(S) MINIMUM CAPACITY
- 153.82 m² MINIMUM ROOF AREA TO TANK(S)

- RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
  - WASHING MACHINE

- RETICULATED RECYCLED WATER SUPPLY TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
  - ALL TOILETS

160 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

- HOT WATER SYSTEM
- GAS CONTINUOUS FLOW - 5.5 STAR

- HEATING SYSTEM
- 3-PHASE REVERSE CYCLE AIR CONDITIONING
  - EER 3.0 - 3.5

- COOLING SYSTEM
- 3-PHASE REVERSE CYCLE AIR CONDITIONING
  - EER 3.5 - 4.0

- VENTILATION (EXHAUST FANS)
- NO MECHANICAL VENTILATION TO BATHROOMS
  - KITCHEN RANGEHOOD:
  - INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
  - NO MECHANICAL VENTILATION TO LAUNDRY

- PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER
- N/A

- NATURAL LIGHTING TO
- 5 BATHROOM(S)/TOILET(S)

- ALTERNATIVE ENERGY
- N/A

- OTHER
- GAS COOKTOP: ELECTRIC OVEN
  - FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

- GROUND FLOOR CEILING HEIGHT(S): 2550mm  
FIRST FLOOR CEILING HEIGHT: 2400mm  
FRAMES AND TRUSSES: TREATED TIMBER  
ROOF PITCH (U.N.O.): 22.5°  
ELECTRICITY SUPPLY: 3-PHASE  
GAS SUPPLY: RETICULATED NATURAL

- ROOF MATERIAL: CONCRETE TILE  
ROOF COLOUR: MEDIUM  
ROOF INSULATION: R3.0 BATTS  
SARKING: SARKING  
1

- WHIRLYBIRDS: HEBEL  
WALL MATERIAL: N/A  
WALL COLOUR: R2.0 BATTS  
WALL INSULATION: N/A  
FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200mm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL TREATED TIMBER FRAMING TO BE DESIGNED TO AS1684-2010

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: M

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: M

BASIX AREAS

- CONDITIONED 194.57  
UNCONDITIONED 28.55

TOTAL FLOOR AREAS

- ALFRESCO 16.94  
BALCONY 5.50  
GARAGE 34.52  
LIVING 102.54  
LIVING (FIRST FLOOR) 118.58  
PATIO 15.62  
293.70 m²

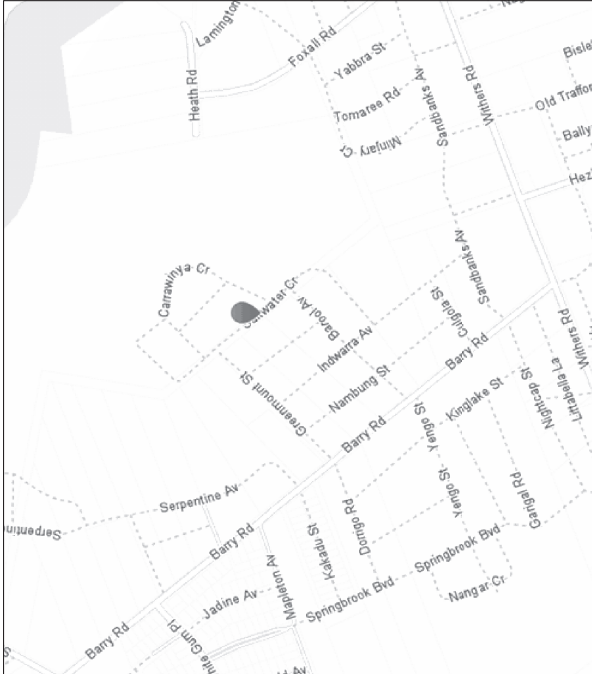
THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

LOCATION MAP



BASIX® THERMAL COMFORT PROTOCOL  
**COMPLIANCE ACHIEVED**

JOB NUMBER: 603164\_v2.0

DATE: 12/01/2017

ASSESSOR: Claude-François Sookioll  
This project was rated without downlights

SIGNED: C. Sookioll

Simulated under the latest, current version of the BASIX Thermal Comfort Protocol



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SPECIFICATION:



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DRAWING	DRAWN
1 (i) CONSOLIDATED TENDER	VSA 2016/05/02
2 CONTRACT PLANS	JAO 2016/09/10
3 ALL REPORTS	JCR 2016/10/15
4 AMENDED AS PER PCV006	VP 2016/12/19

CLIENT:	Mr. ADAM MCKERN & Mrs. PING MCKERN
ADDRESS:	SALTWATER CRESCENT
SUBURB:	KELLYVILLE
POSTCODE:	2155
COUNCIL:	THE HILLS SHIRE
SECTION No:	-

HOUSE DESIGN:	TULLOCH 31
HOUSE CODE:	H-TULCLAD15410
FACADE DESIGN:	CLASSIC
FACADE CODE:	F-TULCLAS01
SHEET TITLE:	COVER SHEET
SCALES:	
SHEET No:	1 / 15

DO NOT SCALE DRAWINGS. USE  
DIMENSIONS AND DETAILS  
PRIOR TO THE COMMENCEMENT OF ANY  
WORK. ALL DISCREPANCIES TO BE  
REPORTED TO THE DRAFTING OFFICE.

603164



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO

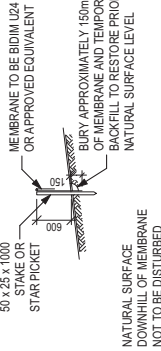
± 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS.

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

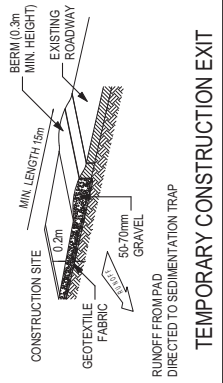
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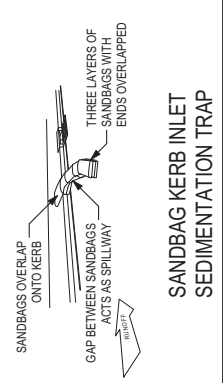
CLIENT TO SLASH/SCRAPE LONG GRASS AND UNDERGROWTH FROM BUILDING AREA. WHERE STUMPS HAVE BEEN REMOVED THE GROUND IS TO BE FILLED AND COMPACTED.



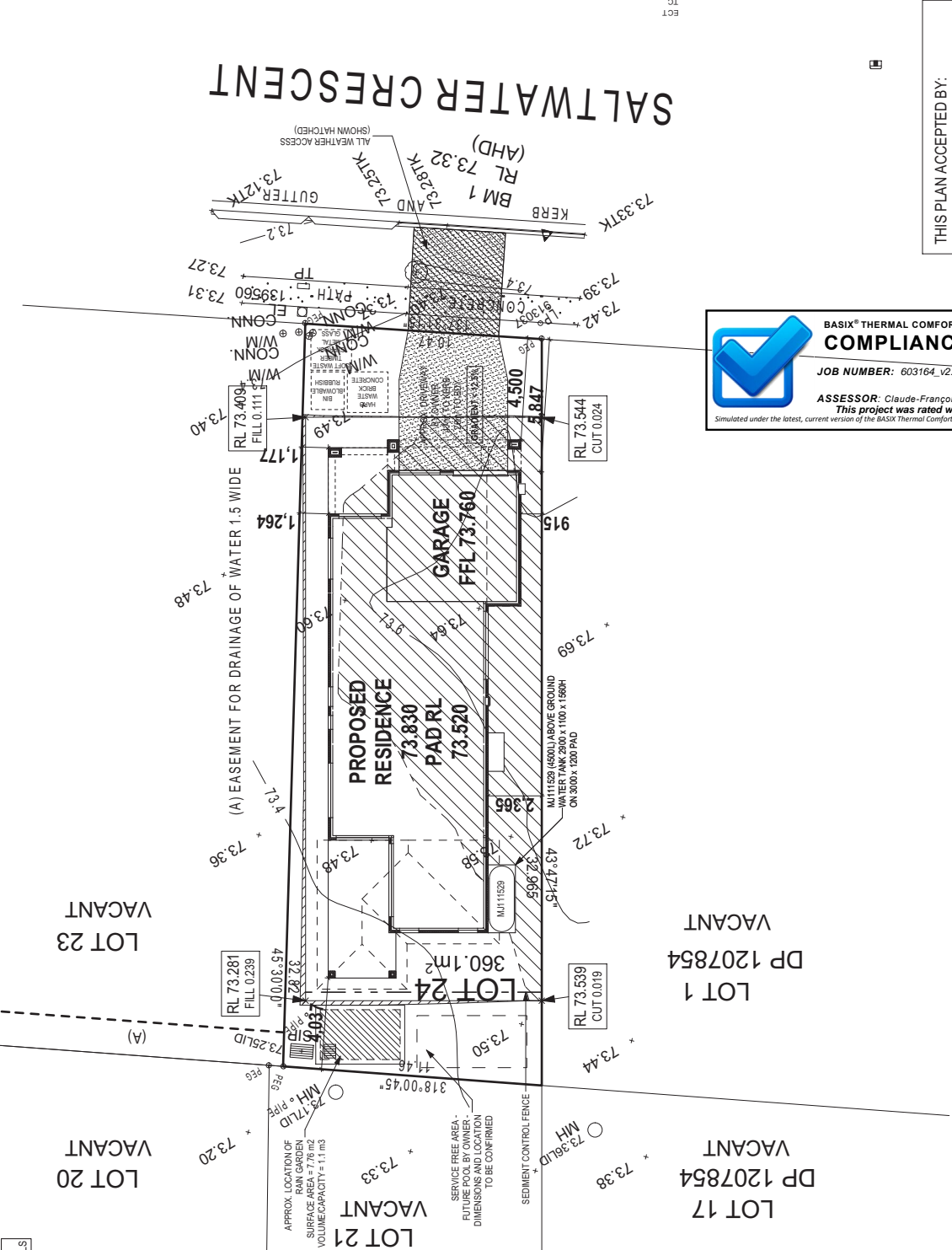
SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET SEDIMENTATION TRAP



**BASIX® THERMAL COMFORT PROTOCOL COMPLIANCE ACHIEVED**

JOB NUMBER: 603164\_v2.0      DATE: 12/01/2017

ASSESSOR: Claude-François Sookloll      SIGNED: C. Sookloll

*This project was rated without downlights*

Simulated under the latest, current version of the BASIX Thermal Comfort Protocol

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**McDonald Jones**

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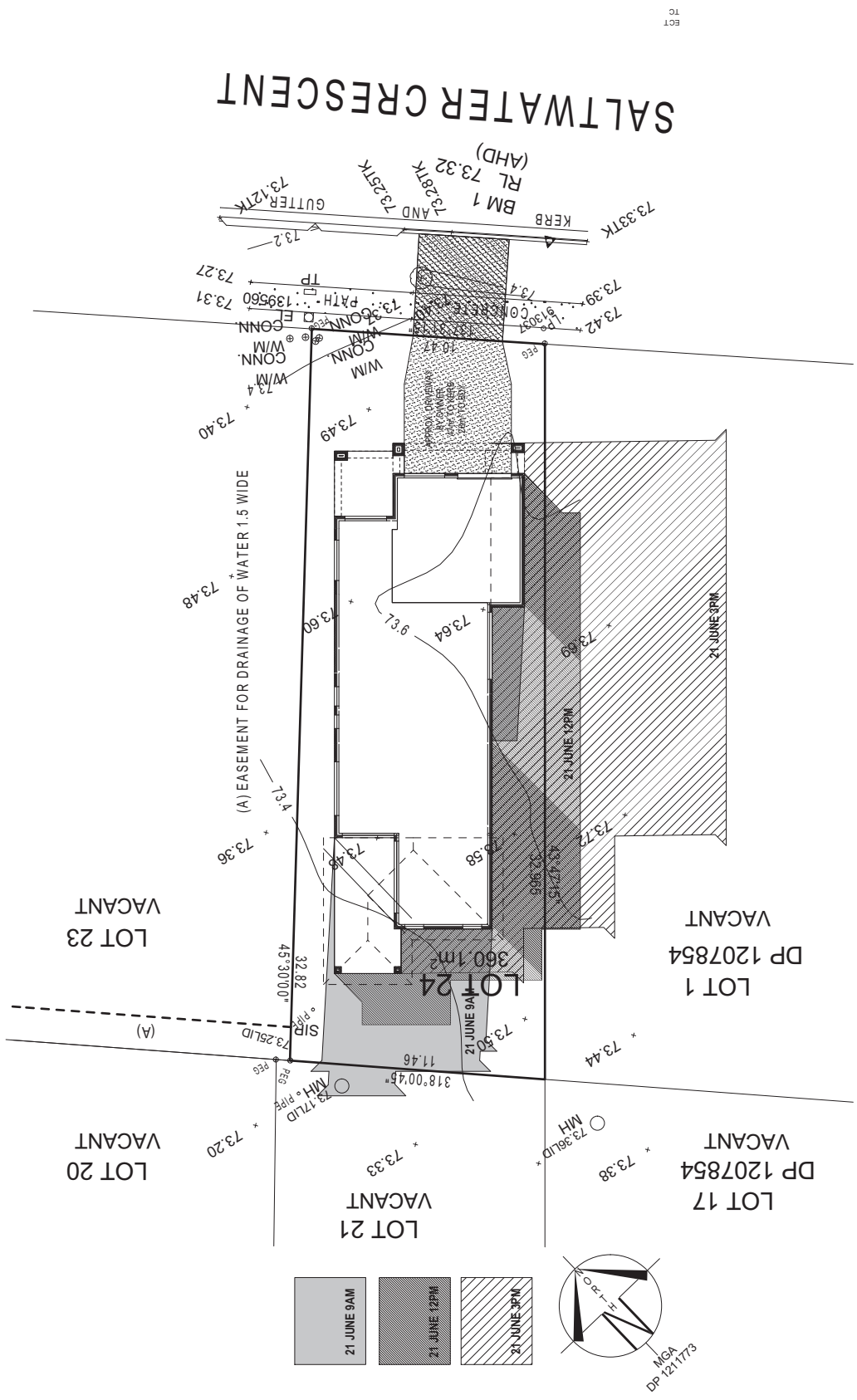
DRAWING	DRAWN
1 (0) CONSOLIDATED TENDER	VSA 2016/05/02
2 CONTRACT PLANS	JAO 2016/09/10
3 ALL REPORTS	JCR 2016/10/15
4 AMENDED AS PER PC006	VP 2016/12/19

CLIENT:	Mr. ADAM MCKERN & Mrs. PING MCKERN
ADDRESS:	SALTWATER CRESCENT
SUBURB:	KELLYVILLE
POSTCODE:	2155
COUNCIL:	THE HILLS SHIRE
LOT No:	24
DPI No:	1211773
SECTION No:	-

HOUSE DESIGN:	TULLOCH 31
FAÇADE DESIGN:	CLASSIC
SHEET TITLE:	SITE PLAN
HOUSE CODE:	H-TULLAD15410
FAÇADE CODE:	F-TULLAS01
SCALE:	1:200
SHEET No:	2 / 15

DO NOT SCALE DRAWINGS. USE DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

603164





REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- BUILDING REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

CHARGED DOWNPIPE DIRECTED TO QP TANK  
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

R4.7 SOUND INSULATION TO INTERIOR WALLS OF 3 ROOMS AS NOMINATED BY OWNER  
INSTALLED BEHIND COOKTOP

ENSURE VERTICAL DPC FLASHING TO END OF GARAGE VENEER WALLS  
ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

ALL EXTERIOR LANDINGS AND STEPS BY OWNER UNLESS NOTED OTHERWISE  
REFER TO SHEET 5 (DOOR & WINDOW SCHEDULES) FOR FULL DETAILS OF ALL DOORS AND WINDOWS

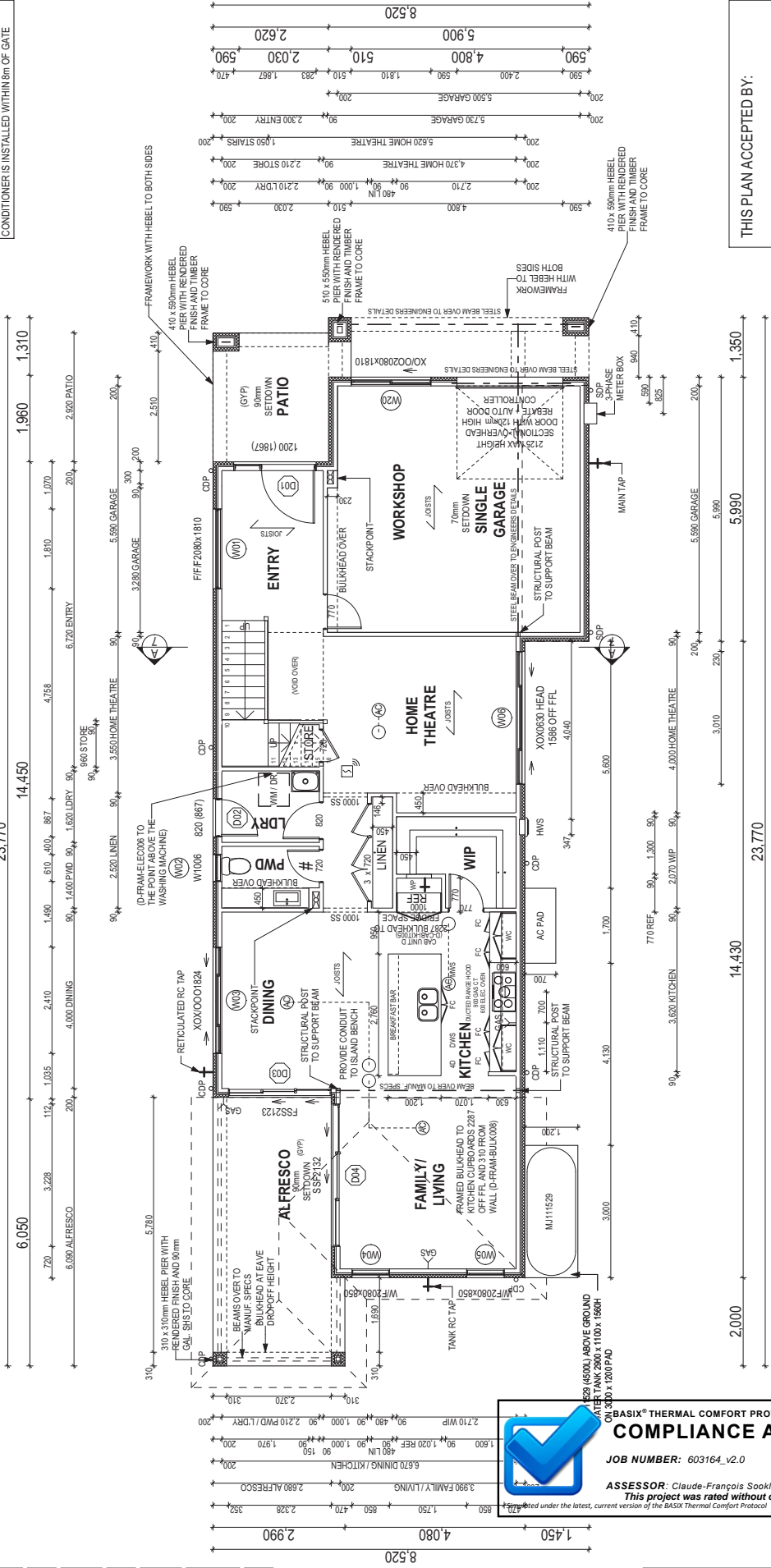
UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:  
A  
B  
C  
D

CLIENT HAS DECLINED TO INSTALL WALL WRAP TO EXTERIOR WALLS

PROVIDE AND INSTALL 3 PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM INCLUDING 2 ZONES AND 6 REVERSE CYCLE AIR CONDITIONING UNITS. THE FINAL LOCATION OF THE RETURN AIR GRILL WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

CLIENT TO ENSURE AIR FLOW IN AND AROUND GATE FOR AIR CONDITIONER (NO SOLID GATE) WHEN AIR CONDITIONER IS INSTALLED WITHIN 8m OF GATE.



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**FLOOR PLAN LEGEND**

HS / WS HOB SPOUT / WALL SPOUT  
FACE BRICK / COMMON BRICK  
SOUND INSULATION  
BRICK ARTICULATION JOINT  
30 DENOTES DRAWER SIDE  
EXHAUST FAN  
LOAD BEARING WALL  
THIS DOOR OPENS FIRST  
SMOKE ALARM  
LIFT OFF HINGE  
WATER POINT  
FRIDGE WATER POINT  
GAS BAYONET

**COMPLIANCE ACHIEVED**


CHASIX\* THERMAL COMFORT PROTOCOL

JOB NUMBER: 603164\_v2.0 DATE: 12/01/2017

ASSESSOR: Claude-François Sookloll SIGNED: C. Sookloll

This project was rated without downlights

ALL DIMENSIONS ARE FRAME DIMENSIONS

 <b>mcdonald jones</b> YOUR HOME. YOUR DREAM	SPECIFICATION:		DRAWING		DRAWN		CLIENT:		LOT No:		HOUSE DESIGN:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK ALL DIMENSIONS AND SPACINGS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.		
			1 (I) CONSOLIDATED TENDER		VSA		Mr. ADAM MCKERN & Mrs. PING MCKERN		24		TULLOCH 31		HOUSE CODE: H-TULLCLAD15410		
			2 CONTRACT PLANS		JAO		ADDRESS: SALTWATER CRESCENT		DPN# 1211773		FACADE DESIGN: CLASSIC		FACADE CODE: F-TULLCLAS01		
			3 ALL REPORTS		JCR		SUBURB: KELLYVILLE		SECTION No: -		SHEET TITLE: GROUND FLOOR PLAN		SHEET No: 4 / 15		
		AMENDED AS PER PCV006		VP		2016.12.19		POSTCODE: 2155		COUNCIL: THE HILLS SHIRE		SCALES: 1:100		603164	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

CHARGED DOWNPIPE DIRECTED TO CDP TANK  
STANDARD DOWNPIPE DIRECTED TO SDP STORMWATER DISCHARGE

R1.7 SOUND INSULATION TO INTERIOR WALLS OF 3 ROOMS AS NOMINATED BY OWNER

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ENSURE VERTICAL DPC FLASHING TO END OF GARAGE VENEER WALLS

ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

ALL EXTERIOR LANDINGS AND STEPS BY OWNER UNLESS NOTED OTHERWISE

REFER TO SHEET 5 (DOOR & WINDOW SCHEDULES) FOR FULL DETAILS OF ALL DOORS AND WINDOWS

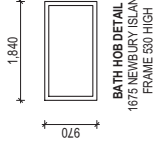
UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS

CLIENT HAS DECLINED TO INSTALL WALL WRAP TO EXTERIOR WALLS

PROVIDE AND INSTALL 3 PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM INCLUDING 2 ZONES AND 6 REVERSE CYCLE AIR CONDITIONERS. THE FINAL LOCATION OF THE RETURN AIR GRILL WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

CLIENT TO ENSURE AIR FLOW IN AND AROUND GATE FOR AIR CONDITIONER (NO SOLID GATE) WHEN AIR CONDITIONER IS INSTALLED WITHIN 8m OF GATE.



BATH HOB (FIRST FLOOR)  
Scale: 1:100

- FLOOR PLAN LEGEND**
- HS / WS HOB SPOUT / WALL SPOUT
  - FACE BRICK / COMMON BRICK
  - SOUND INSULATION
  - BRICK ARTICULATION JOINT
  - 30 DENOTES DRAWER SIDE
  - EXHAUST FAN
  - LOAD BEARING WALL
  - THIS DOOR OPENS FIRST
  - SMOKE ALARM
  - LIFT OFF HINGE
  - WATER POINT
  - FRIDGE WATER POINT
  - GAS BAYONET

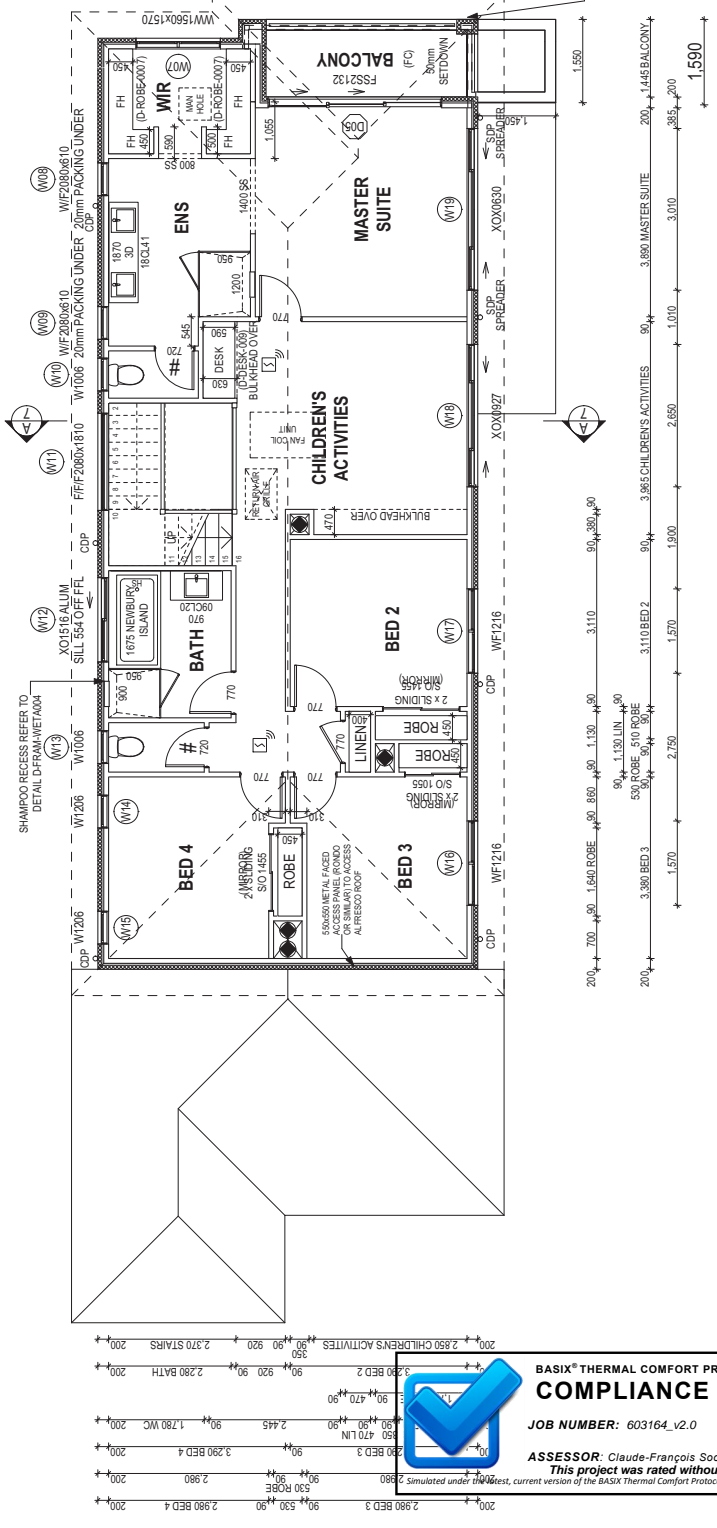
**BASIX® THERMAL COMFORT PROTOCOL**  
**COMPLIANCE ACHIEVED**

JOB NUMBER: 603164\_v2.0 DATE: 12/01/2017

ASSESSOR: Claude-François Sooklall SIGNED: C. Sooklall

This project was rated without downlights

Simulated under the best, current version of the BASIX Thermal Comfort Protocol



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

ALL DIMENSIONS ARE FRAME DIMENSIONS

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YOUR HOME. YOUR DREAM

**23 two story**  
www.mcdonaldjoneshomes.com.au  
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DRAWING	DRAWN	CLIENT	LOT No:
1 (i) CONSOLIDATED TENDER	VSA	Mr. ADAM MCKERN & Mrs. PING MCKERN	24
2 CONTRACT PLANS	JAO	ADDRESS: SALTWATER CRESCENT	DPI No: 1211773
3 ALL REPORTS	JCR	SUBURB: KELLYVILLE	POSTCODE: 2155 COUNCIL: THE HILLS SHIRE
4 AMENDED AS PER PCV006	VP		SECTION No: -

HOUSE DESIGN: TULLOCH 31	HOUSE CODE: H-TULLCLAD15410
FACE DESIGN: CLASSIC	FACE CODE: F-TULLCLAS01
SHEET TITLE: FIRST FLOOR PLAN	SHEET No: 5 / 15
SCALE: 1:100	603164

DO NOT SCALE DRAWINGS. USE DIMENSIONS GIVEN ON WORK. PRIOR TO THE COMMENCEMENT OF ANY WORK, ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

WINDOW SCHEDULE

IDENTIFICATION			SIZE							REVEAL & REVEAL COVERPLATE (CPL)				ADDITIONAL INFORMATION <sup>3</sup>
ID	CODE <sup>o</sup>	ROOM	HEIGHT	WIDTH	AREA (m <sup>2</sup> )	FRAME	SILL TYPE	GLAZING	ORIENT.	HEAD	SILL	LEFT <sup>1</sup>	RIGHT <sup>2</sup>	
W01	FF/F2080x1810	ENTRY	2,080	1,810	3.76	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 683/683
W02	W1006	PWD	1,030	610	0.63	ALUMINIUM	NONE	OBSCURE, TOUGHENED	N	SINGLE	SINGLE	SINGLE	SINGLE	
W03	XOXO001824	DINING	1,800	2,410	4.34	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 600, MP 603-1205/0
W04	WF/2080x850	FAMILY / LIVING	2,080	860	1.77	ALUMINIUM	SNAP HEADER	CLEAR	W	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W05	WF/2080x850	FAMILY / LIVING	2,080	860	1.77	ALUMINIUM	SNAP HEADER	CLEAR	W	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W06	XOX0630	HOME THEATRE	600	3,010	1.81	ALUMINIUM	NONE	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	
W07	WW/1560x1570	WIR	1,560	1,570	2.45	ALUMINIUM	NONE	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	MP 785
W08	WF/2080x610	ENS	2,080	610	1.27	ALUMINIUM	NONE	OBSCURE, TOUGHENED	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W09	WF/2080x610	ENS	2,080	610	1.27	ALUMINIUM	NONE	OBSCURE, TOUGHENED	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W10	W1006	WC	1,030	610	0.63	ALUMINIUM	NONE	OBSCURE, TOUGHENED	N	SINGLE	SINGLE	SINGLE	SINGLE	
W11	FF/F2080x1810	CHILDREN'S ACTIVITIES	2,080	1,810	3.76	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 683/683
W12	XO1516	BATH	1,460	1,570	2.29	ALUMINIUM	NONE	OBSCURE, TOUGHENED	N	SINGLE	SINGLE	SINGLE	SINGLE	
W13	W1006	WC	1,030	610	0.63	ALUMINIUM	NONE	OBSCURE, TOUGHENED	N	SINGLE	SINGLE	SINGLE	SINGLE	
W14	W1206	BED 4	1,200	610	0.73	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	
W15	W1206	BED 4	1,200	610	0.73	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	
W16	WF1216	BED 3	1,200	1,570	1.88	ALUMINIUM	NONE	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	MP 785
W17	WF1216	BED 2	1,200	1,570	1.88	ALUMINIUM	NONE	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	MP 785
W18	XOX0927	CHILDREN'S ACTIVITIES	860	2,650	2.28	ALUMINIUM	NONE	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	
W19	XOX0630	MASTER SUITE	600	3,010	1.81	ALUMINIUM	NONE	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	
W20	XO/O2080x1810		2,080	1,810	3.76	ALUMINIUM	NONE	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 600, MP 905/0

1,3 ASSUME LOOKING FROM OUTSIDE

1,2 ASSUME LOOKING FROM INSIDE

39.46

EXTERIOR DOOR SCHEDULE

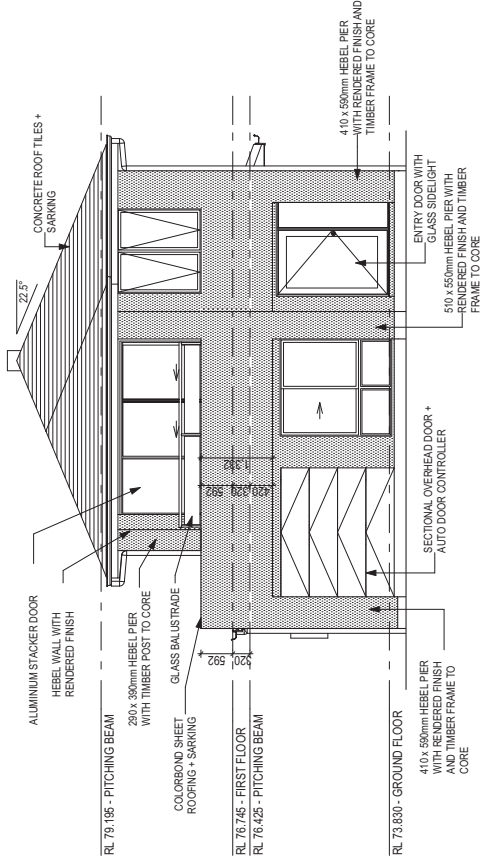
ID	CODE <sup>o</sup>	ROOM	HEIGHT	WIDTH	AREA (m <sup>2</sup> )	FRAME	SILL TYPE	GLAZING	ORIENT.	ADDITIONAL INFORMATION <sup>1</sup>
D01	1200	ENTRY	2,106	1,867	3.93	TIMBER	SNAP HEADER	DOOR(S); CLEAR - SIDELIGHT(S); CLEAR	E	
D02	820	LDRY	2,106	867	1.83	TIMBER	SNAP HEADER	DOOR(S); CLEAR - SIDELIGHT(S); N/A	N	
D03	FSS2123	DINING	2,100	3,328	4.89	ALUMINIUM	SNAP HEADER	CLEAR	W	
D04	SSF2132	FAMILY/LIVING	2,100	3,228	6.78	ALUMINIUM	SNAP HEADER	CLEAR	N	
D05	FSS2132		2,100	3,228	6.78	ALUMINIUM	SNAP HEADER	CLEAR	E	
					24.21 m <sup>2</sup>					

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

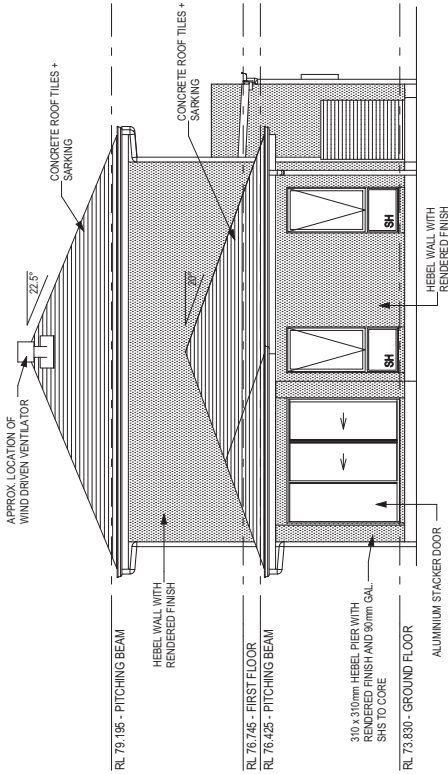
- BUILDING REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

SH = SNAP HEADER SILL

HEBEL CONTROL JOINTS TO MANUFACTURER'S REQUIREMENTS.



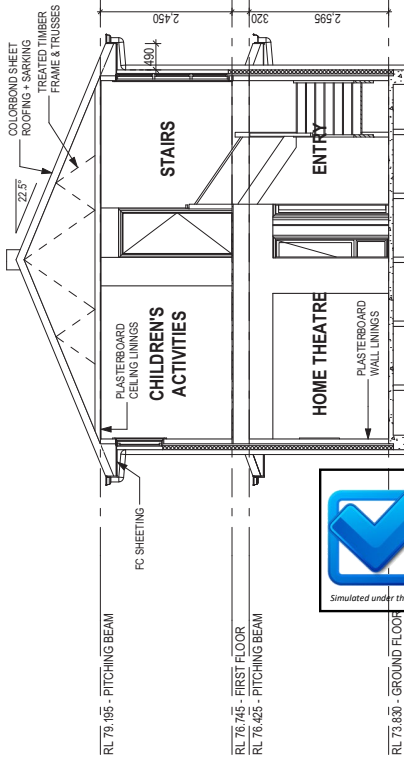
FRONT ELEVATION  
Scale: 1:100



REAR ELEVATION  
Scale: 1:100

INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS:

- R2.0 BATTIS TO EXTERNAL WALLS (EXCLUDING GARAGE)
- R3.0 CEILING BATTIS (EXCLUDING GARAGE)
- 100mm R3.0 POLYSTYRENE TO MASTER SUITE, BED 2 & BED 4
- SARKING UNDER ROOFING



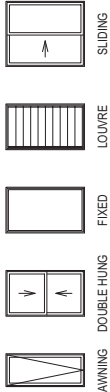
SECTION A-A  
Scale: 1:100



**BASIX® THERMAL COMFORT PROTOCOL**  
**COMPLIANCE ACHIEVED**  
JOB NUMBER: 603164\_v2.0 DATE: 12/01/2017

ASSESSOR: Claude-François Sookloll SIGNED: C. Sookloll  
This project was rated without downlights

WINDOW TYPE LEGEND



GLASS TYPE LEGEND



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

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1	2	3	4
1	2	3	4
1	2	3	4
1	2	3	4

CLIENT:	Mr. ADAM MCKERN & Mrs. PING MCKERN
ADDRESS:	SALTWATER CRESCENT
SUBURB:	KELLYVILLE
POSTCODE:	2155
COUNCIL:	THE HILLS SHIRE
LOT No:	24
DPI No:	1211773
SECTION No:	-

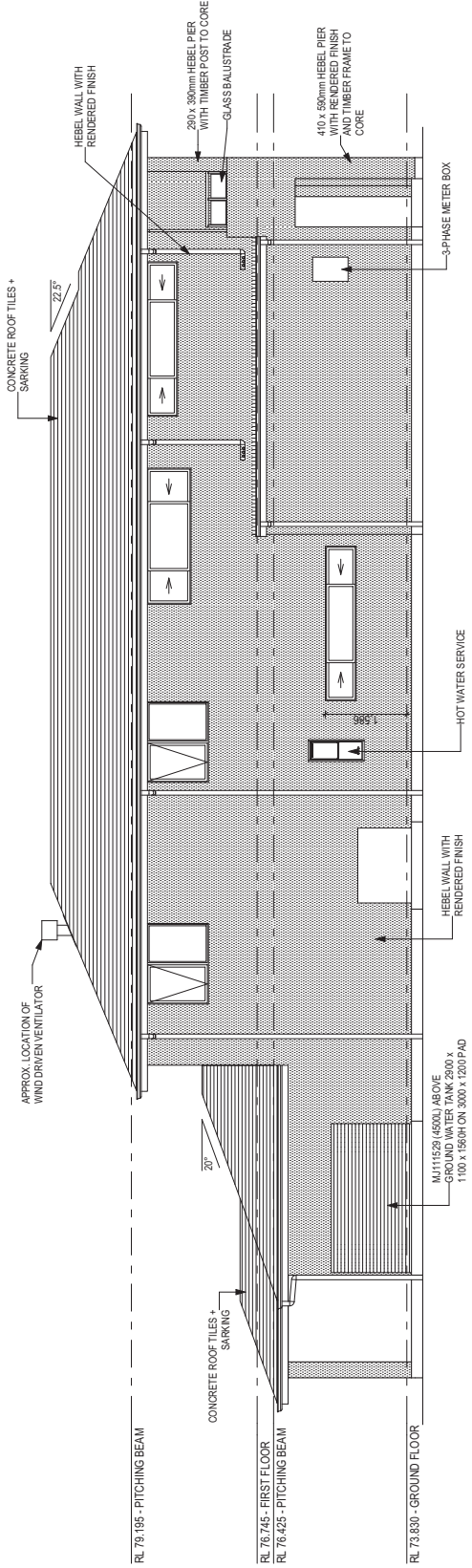
HOUSE CODE:	H-TULCLAD/15410
FACADE CODE:	F-TULCLAS01
SHEET TITLE:	ELEVATIONS / SECTION
SCALES:	1:100
SHEET No:	7 / 15

DO NOT SCALE DRAWINGS. USE DIMENSIONS GIVEN ON DRAWING AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

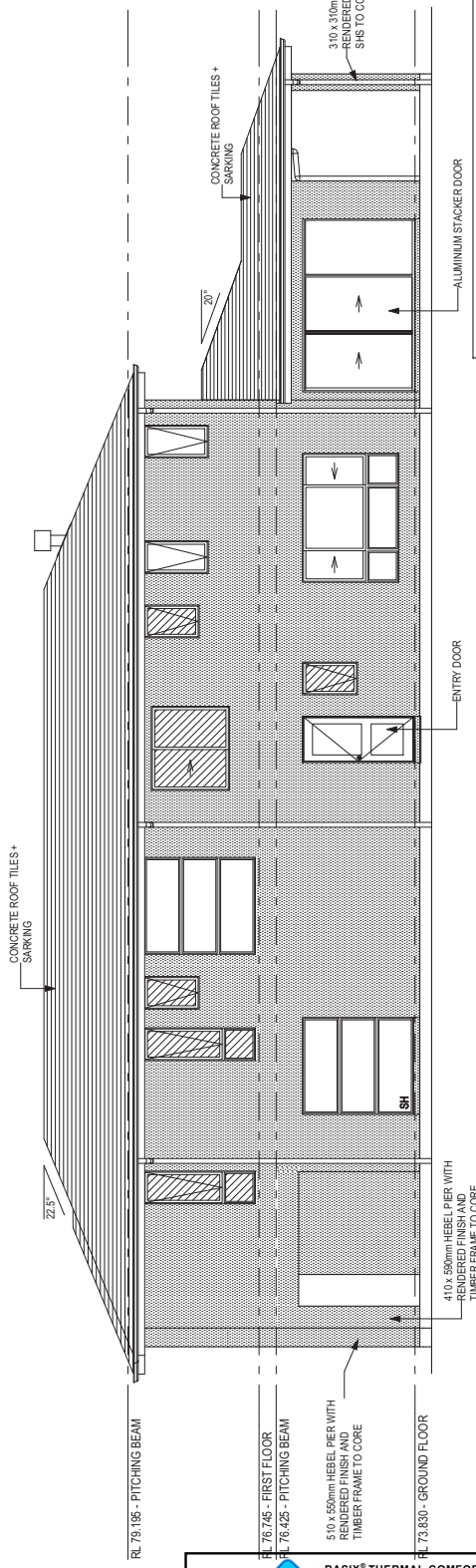
**603164**



REFER TO SHEET 1 (COVER SHEET) FOR ALL INFORMATION REGARDING:  
- BUILDING REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS  
SH = SNAP HEADER SILL  
HEBEL CONTROL JOINTS TO MANUFACTURER'S REQUIREMENTS.



LEFT ELEVATION  
Scale: 1:100



RIGHT ELEVATION  
Scale: 1:100

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVER	SLIDING
--------	-------------	-------	--------	---------

GLASS TYPE LEGEND

CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED
-------	---------	----------	-------	-------

DO NOT SCALE DRAWINGS. USE DIMENSIONS AND SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

603164

HOUSE DESIGN: TULLOCH 31

HOUSE CODE: H-TULCLAD15410

FACE DESIGN: CLASSIC

FACE CODE: F-TULCLAS01

SHEET TITLE: ELEVATIONS

SHEET No: 8 / 15

SCALE: 1:100

CLIENT: Mr. ADAM MCKERN & Mrs. PING MCKERN

LOT No: 24

ADDRESS: SALTWATER CRESCENT

POSTCODE: 2155

COUNCIL: THE HILLS SHIRE

DRAWN: VSA 2016.05.02

1 (I) CONSOLIDATED TENDER

2 CONTRACT PLANS

3 ALL REPORTS

4 AMENDED AS PER PCV006

DATE: 2016.09.10

JAO 2016.09.10

JCR 2016.10.15

VP 2016.12.19

SPECIFICATION:

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BASIX® THERMAL COMFORT PROTOCOL

COMPLIANCE ACHIEVED

JOB NUMBER: 603164\_v2.0

DATE: 12/01/2017

ASSESSOR: Claude-François Sookloll

SIGNED: C. Sookloll

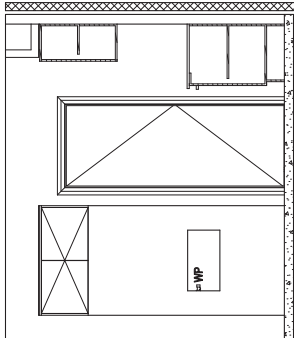
This project was rated without daylight

Simulated under the latest, current version of the BASIX Thermal Comfort Protocol

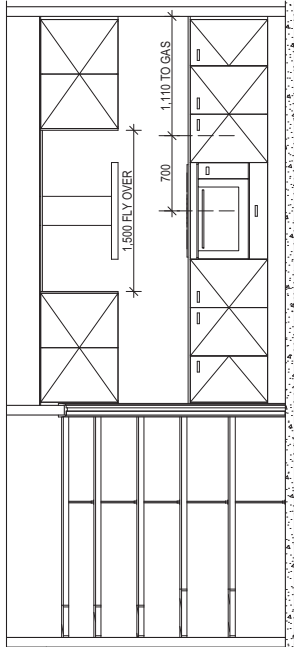
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- BUILDING REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

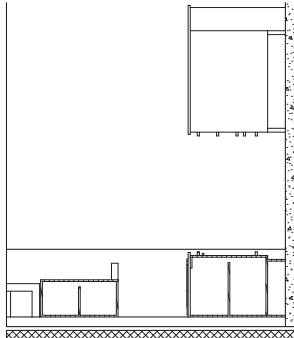
KITCHEN DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.



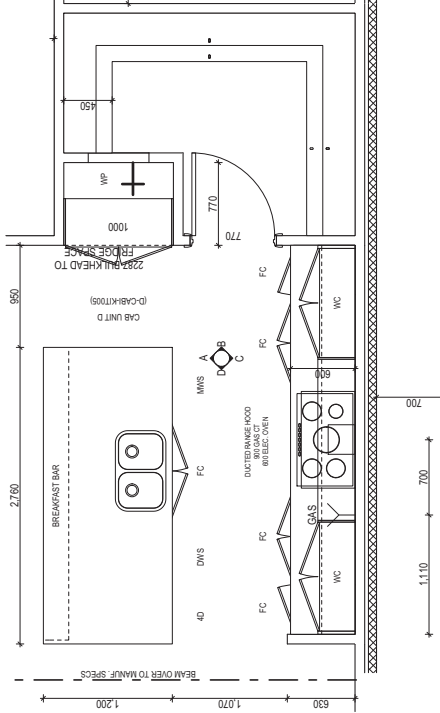
ELEVATION A  
Scale: 1:50



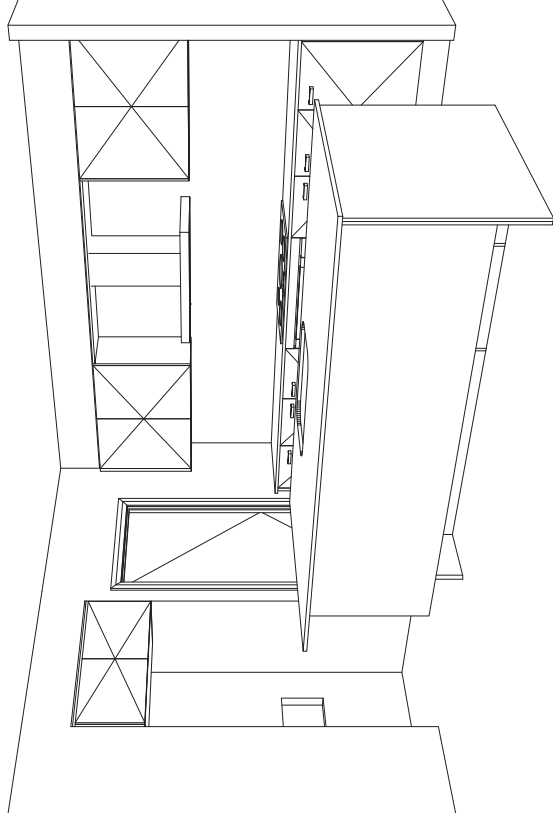
ELEVATION B  
Scale: 1:50



ELEVATION C  
Scale: 1:50



KITCHEN PLAN  
Scale: 1:50



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

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DRAWING	DRAWN
1 (i) CONSOLIDATED TENDER	VSA 2016.05.02
2 CONTRACT PLANS	JAO 2016.09.10
3 ALL REPORTS	JCR 2016.10.15
4 AMENDED AS PER PCV006	VP 2016.12.19

CLIENT:	Mr. ADAM MCKERN & Mrs. PING MCKERN	LOT No:	24
ADDRESS:	SALTWATER CRESCENT	DPI No:	1211773
SUBURB:	KELLYVILLE	POSTCODE:	2155
COUNCIL:	THE HILLS SHIRE	SECTION No:	-

HOUSE DESIGN:	TULLOCH 31	HOUSE CODE:	H-TULCLAD15410
FACE DESIGN:	CLASSIC	FACE CODE:	F-TULCLAS01
SHEET TITLE:	KITCHEN DETAILS	SCALES:	1:50, 1:71.31
SHEET No:	9 / 15		

DO NOT SCALE DRAWINGS. USE DIMENSIONS AS SHOWN. CHECK ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

**603164**

**BASIX® THERMAL COMFORT PROTOCOL**  
**COMPLIANCE ACHIEVED**

JOB NUMBER: 603164\_v2.0 DATE: 12/01/2017

ASSESSOR: Claude-François Sookloll SIGNED: C. Soodloll

This project was rated without downlights

Simulated under the latest, current version of the BASIX Thermal Comfort Protocol

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- BUILDING REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

BATHROOM DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

PROVIDE ADDITIONAL WALL FRAME TO LAUNDRY FOR FIXING OF WALL MOUNTED CLOTHES DRYER AS PER D-FRAME ELEC006

- LEGEND**
- RSHR RAIL SHOWER
  - ROSE SHOWER ROSE
  - ELBW SHOWER ELBOW
  - MIX CONNECTION
  - HT MIXER TAP
  - CT HOT TAP
  - CT COLD TAP
  - HS HOB SPOUT
  - WS WALL SPOUT
  - SC STOP COCK
  - TRH TOILET ROLL HOLDER
  - TR-S TOWEL RAIL - SINGLE
  - TR-D TOWEL RAIL - DOUBLE
  - TL TOWEL LADDER
  - TH TOWEL HOLDER
  - TR TOWEL RACK
  - TMB TUMBLER HOLDER
  - RNG TOWEL RING
  - RH ROBE HOOK
  - SHLF SHELF
  - SR SHAMPOO RECESS
  - SOAP SOAP HOLDER



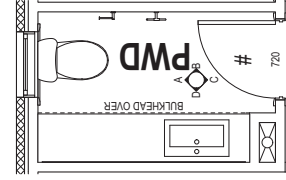
**BASIX® THERMAL COMFORT PROTOCOL  
COMPLIANCE ACHIEVED**

JOB NUMBER: 603164\_v2.0      DATE: 12/01/2017

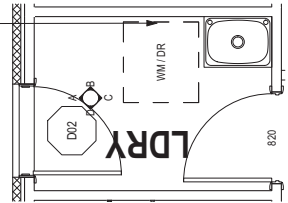
ASSESSOR: Claude-François Sookloll      SIGNED: C. Sookloll

*This project was rated without downlights*

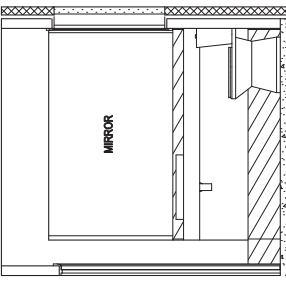
Simulated under the latest, current version of the BASIX Thermal Comfort Protocol



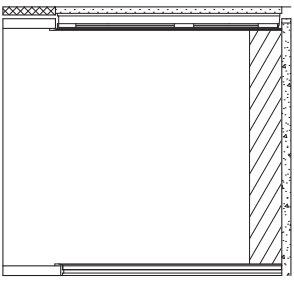
**POWDER ROOM PLAN**  
Scale: 1:50



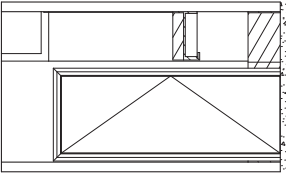
**LAUNDRY PLAN**  
Scale: 1:50



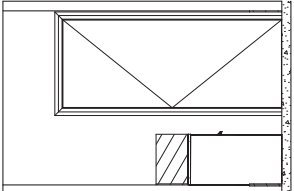
**ELEVATION D**  
Scale: 1:50



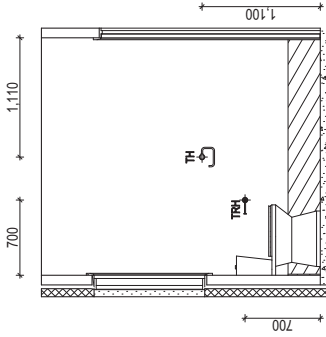
**ELEVATION D**  
Scale: 1:50



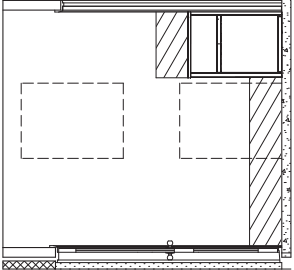
**ELEVATION C**  
Scale: 1:50



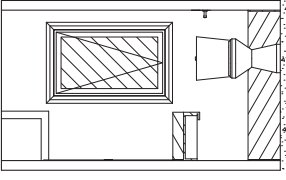
**ELEVATION C**  
Scale: 1:50



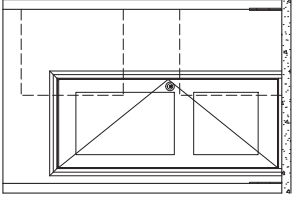
**ELEVATION B**  
Scale: 1:50



**ELEVATION B**  
Scale: 1:50



**ELEVATION A**  
Scale: 1:50



**ELEVATION A**  
Scale: 1:50


THIS PLAN ACCEPTED BY:

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SIGNATURE: \_\_\_\_\_


DATE: \_\_\_\_\_

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SPECIFICATION:

  
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1	(i) CONSOLIDATED TENDER	DRAWN	VSA	2016.05.02	CLIENT:	Mr. ADAM MCKERN & Mrs. PING MCKERN	LOT No:	24
2	CONTRACT PLANS	JAO	2016.09.10	ADDRESS:	SALTWATER CRESCENT	DP No:	1211773	
3	ALL REPORTS	JCR	2016.10.15	POSTCODE:	2155	COUNCIL:	THE HILLS SHIRE	
4	AMENDED AS PER PCV006	VP	2016.12.19	SUBURB:	KELLYVILLE	SECTION No:	-	

HOUSE DESIGN: TULLOCH 31

HOUSE CODE: H-TULCLAD15410

FACADE DESIGN: CLASSIC

FACADE CODE: F-TULCLAS01

SHEET TITLE: POWDER ROOM / LAUNDRY DETAILS

SCALE: 1:50

SHEET No: 10 / 15

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**603164**

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

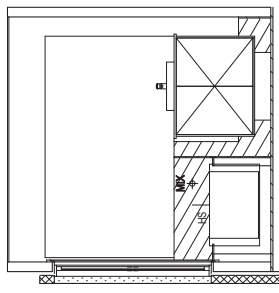
- BUILDING REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

BATHROOM DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

PROVIDE ADDITIONAL WALL FRAME TO LAUNDRY FORMING OR WALL MOUNTED CLOTHES DRYER AS PER DFW-ELC006

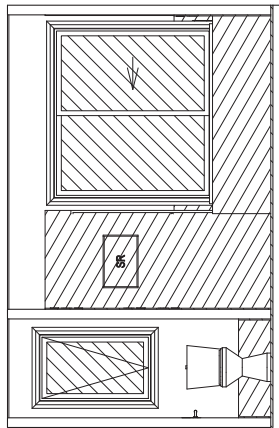
LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW
CON	CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

730

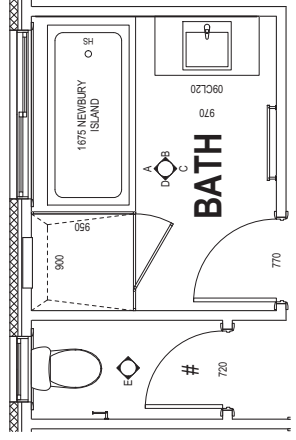


ELEVATION B  
Scale: 1:50


210 470



ELEVATION A  
Scale: 1:50



BATHROOM PLAN  
Scale: 1:50



BASIX® THERMAL COMFORT PROTOCOL

**COMPLIANCE ACHIEVED**

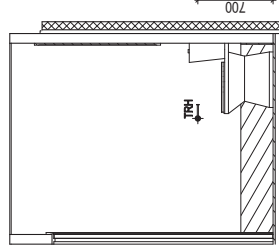
JOB NUMBER: 603164\_v2.0      DATE: 12/01/2017

ASSESSOR: Claude-François Sooklall      SIGNED: C. Sooklall

*This project was rated without downlights*

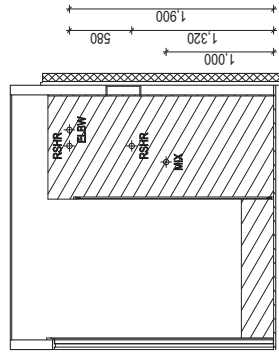
Simulated under the latest, current version of the BASIX Thermal Comfort Protocol

700



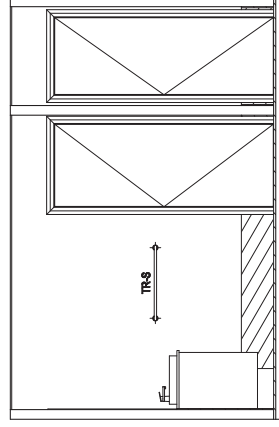
ELEVATION E  
Scale: 1:50

625 475 150 325



ELEVATION D  
Scale: 1:50

850 657



ELEVATION C  
Scale: 1:50



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SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

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1	(i) CONSOLIDATED TENDER	DRAWING	DRAWN	CLIENT:	LOT No:																																						
2	CONTRACT PLANS	JAO	VSA 2016.05.02	Mr. ADAM MCKERN & Mrs. PING MCKERN	24																																						
3	ALL REPORTS	JCR	JAO 2016.09.10	ADDRESS:	DP No:																																						
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			VP 2016.12.19	SUBURB:	SECTION No:																																						
				KELLYVILLE	-																																						
				HOUSE DESIGN:	HOUSE CODE:																																						
				TULLOCH 31	H-TULCLAD15410																																						
				FACADE DESIGN:	FACADE CODE:																																						
				CLASSIC	F-TULCLAS01																																						
				SHEET TITLE:	SHEET No:																																						
				BATHROOM DETAILS	11 / 15																																						
				SCALES:	1:50																																						



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

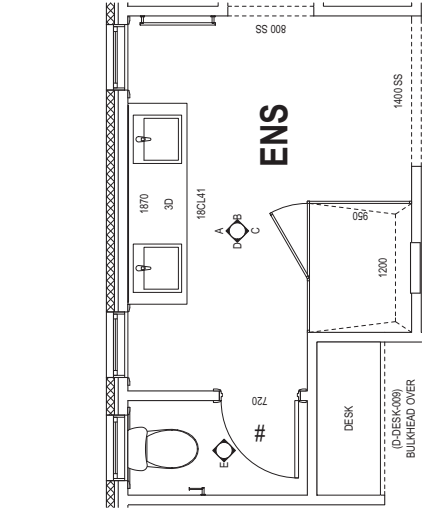
- BUILDING REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

BATHROOM DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

PROVIDE ADDITIONAL WALL FRAME TO LAUNDRY FOR FIXING OF WALL MOUNTED CLOTHES DRYER AS PER DFRAMELE02006

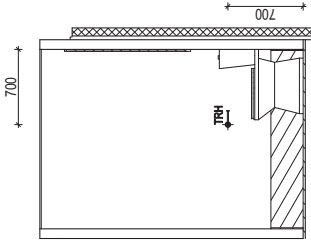
LEGEND

- RSRHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW
- MIX CONNECTION
- HT MIXER TAP
- CT HOT TAP
- HS COLD TAP
- WS HOB SPOUT
- SC WALL SPOUT
- TRH STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

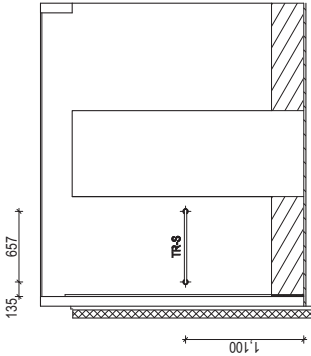


ENSUITE PLAN  
Scale: 1:50

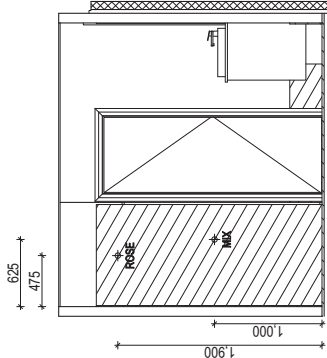
**BASIX® THERMAL COMFORT PROTOCOL**  
**COMPLIANCE ACHIEVED**  
JOB NUMBER: 603164\_v2.0 DATE: 12/01/2017  
ASSESSOR: Claude-François Sooklall SIGNED: C. Sooklall  
This project was rated without downlights  
Simulated under the latest, current version of the BASIX Thermal Comfort Protocol



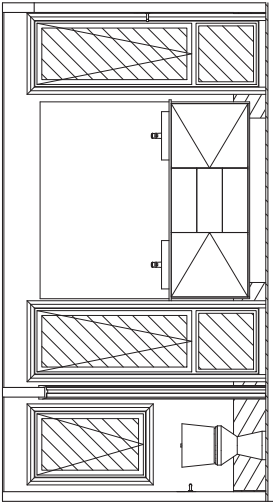
ELEVATION E  
Scale: 1:50



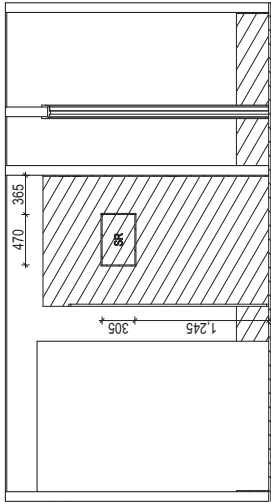
ELEVATION B  
Scale: 1:50



ELEVATION D  
Scale: 1:50



ELEVATION A  
Scale: 1:50



ELEVATION C  
Scale: 1:50

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

ALL DIMENSIONS ARE FRAME DIMENSIONS

DO NOT SCALE DRAWINGS. USE DIMENSIONS GIVEN ON DRAWING. PRIOR TO THE COMMENCEMENT OF ANY WORK, ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.		603164	
CLIENT:	Mr. ADAM MCKERN & Mrs. PING MCKERN	LOT No:	24
ADDRESS:	SALTWATER CRESCENT	HOUSE CODE:	H-TULCLAD15410
SUBURB:	KELLYVILLE	FACE CODE:	F-TULCLAS01
POSTCODE:	2155	SCALE:	1:50
COUNCIL:	THE HILLS SHIRE	SHEET No:	12 / 15
DRAWING	DRAWN	ENSUITE DETAILS	
1 (i) CONSOLIDATED TENDER	VSA 2016.05.02		
2 CONTRACT PLANS	JAO 2016.09.10		
3 ALL REPORTS	JCR 2016.10.15		
4 AMENDED AS PER PCV006	VP 2016.12.19		
SPECIFICATION:		www.mcdonaldjoneshomes.com.au	
mcdonald jones		© 2016	
YOUR HOME. YOUR DREAM			

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- BUILDING REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

CHARGED DOWNPIPE DIRECTED TO CDP TANK  
STANDARD DOWNPIPE DIRECTED TO SDP STORMWATER DISCHARGE

STORMWATER LAYOUT IS DIAGNOSTIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF CHARGED STORMWATER ONLY AND DOES NOT ACCEPT LIABILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

MAINS YARD TAP TO BE LOCATED AT FRONT OF DWELLING AT POINT CLOSEST TO MAINS CONNECTION

NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS  
TO BE DIVERTED TO WATER TANK BALANCE TO REAR INTER-ALLOTMENT DRAINAGE VIA RAIN GARDEN  
COLLECTION AREA = 153.82 m<sup>2</sup>

PLUMBING LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS  
TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY  
ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)

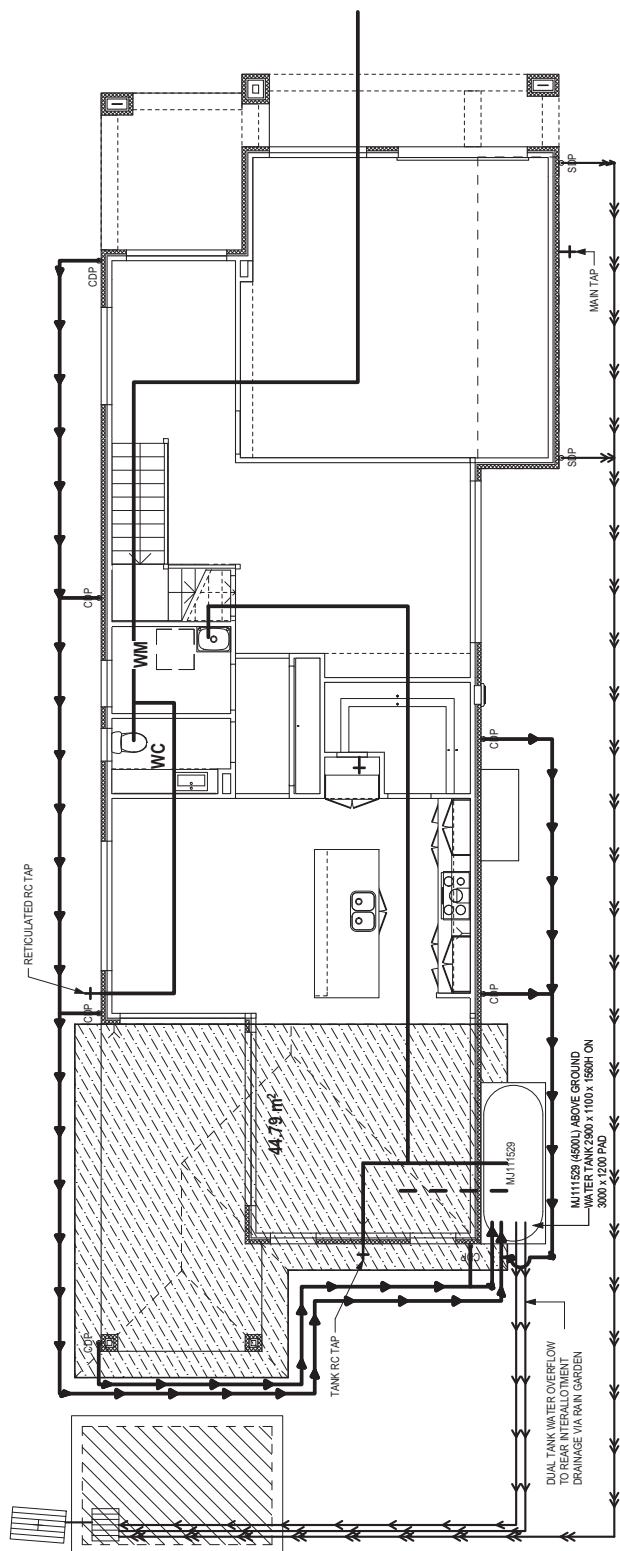
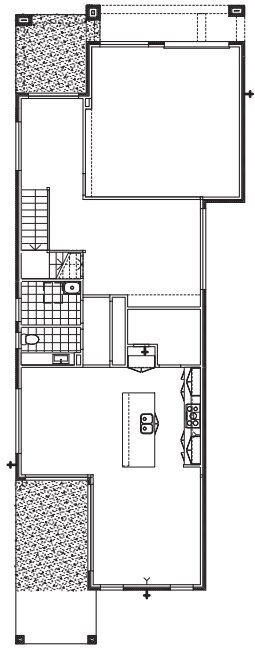
ALL DRAINAGE LINES ARE FOR ROOF WATER/WATER TANK DRAINAGE ONLY

- CONTROL PANEL
- RECYCLED COLD WATER LINE
- WATER LINE TO MAIN SUPPLY
- CHARGED LINE TO WATER TANK
- WATER TANK OVERFLOW
- STORMWATER OVERFLOW
- WM WASHING MACHINE
- WC WATER CLOSET
- RC RECYCLED YARD TAP

- COVERINGS LEGEND
- NO COVERING
  - COVER GRADE CONCRETE
  - CARPET
  - TIMBER (BY OWNER)
  - TILE (STANDARD WET AREAS)
  - TILE (UPGRADED AREAS)
  - VINYL

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.  
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

FLOOR COVERINGS  
Scale: 1:200



RECYCLED WATER  
Scale: 1:100

**BASIX® THERMAL COMFORT PROTOCOL**  
**COMPLIANCE ACHIEVED**  
JOB NUMBER: 603164\_v2.0 DATE: 12/01/2017  
ASSESSOR: Claude-François Sookloll  
This project was rated without downlights  
SIGNED: C. Sookloll  
Simulated under the latest, current version of the BASIX Thermal Comfort Protocol

THIS PLAN ACCEPTED BY:  
  
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE:  
DATE:

**mcdonald jones**  
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DRAWING	DRAWN
1 (i) CONSOLIDATED TENDER	VSA 2016.05.02
2 CONTRACT PLANS	JAO 2016.09.10
3 ALL REPORTS	JCR 2016.10.15
4 AMENDED AS PER PC006	VP 2016.12.19

CLIENT:	Mr. ADAM MCKERN & Mrs. PING MCKERN
ADDRESS:	SALTWATER CRESCENT
SUBURB:	KELLYVILLE
POSTCODE:	2155
COUNCIL:	THE HILLS SHIRE
LOT No:	24
DP No:	1211773
SECTION No:	-

HOUSE DESIGN:	TULLOCH 31
HOUSE CODE:	H-TULCLAD15410
FACADE DESIGN:	CLASSIC
FACADE CODE:	F-TULCLAS01
SHEET TITLE:	RECYCLED WATER / FLOOR COVERINGS
SCALES:	1:200, 1:100
SHEET No:	13 / 15

DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. CHECK ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

603164

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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MAINS YARD TAP TO BE LOCATED AT FRONT OF DWELLING AT POINT CLOSEST TO MAINS CONNECTION

NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS

TO BE DIVERTED TO WATER TANK. BALANCE TAKEN TO REAR INTER-ALLOTMENT DRAINAGE VIA RAIN GARDEN.  
COLLECTION AREA = 153.82 m<sup>2</sup>

PLUMBING LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS  
TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY

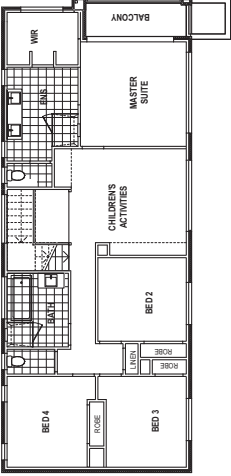
ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)

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- WATER TANK OVERFLOW
- STORMWATER OVERFLOW
- WM WASHING MACHINE
- WC WATER CLOSET
- RC RECYCLED YARD TAP

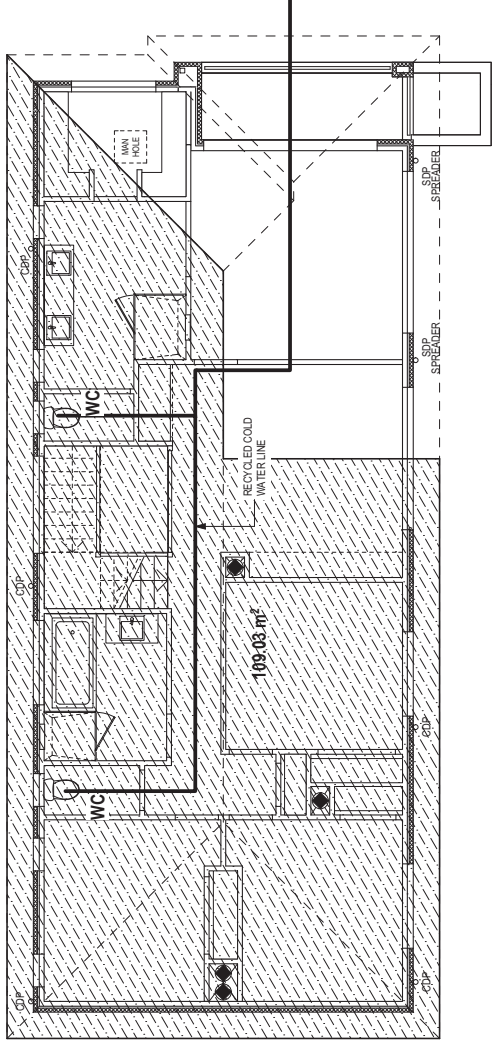
- COVERINGS LEGEND
- NO COVERING
  - COVER GRADE CONCRETE
  - CARPET
  - TIMBER (BY OWNER)
  - TILE (STANDARD WET AREAS)
  - TILE (UPGRADED AREAS)
  - VINYL

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.  
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.



FLOOR COVERINGS (FIRST FLOOR)

Scale: 1:200



RECYCLED WATER (FIRST FLOOR)

Scale: 1:100

**BASIX® THERMAL COMFORT PROTOCOL**  
**COMPLIANCE ACHIEVED**  
JOB NUMBER: 603164\_v2.0 DATE: 12/01/2017  
ASSESSOR: Claude-François Sookloll SIGNED: C. Sookloll  
This project was rated without downlights  
Simulated under the latest, current version of the BASIX Thermal Comfort Protocol

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

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DRAWING	DRAWN
1 (i) CONSOLIDATED TENDER	VSA 2016.05.02
2 CONTRACT PLANS	JAO 2016.09.10
3 ALL REPORTS	JCR 2016.10.15
4 AMENDED AS PER PC006	VP 2016.12.19

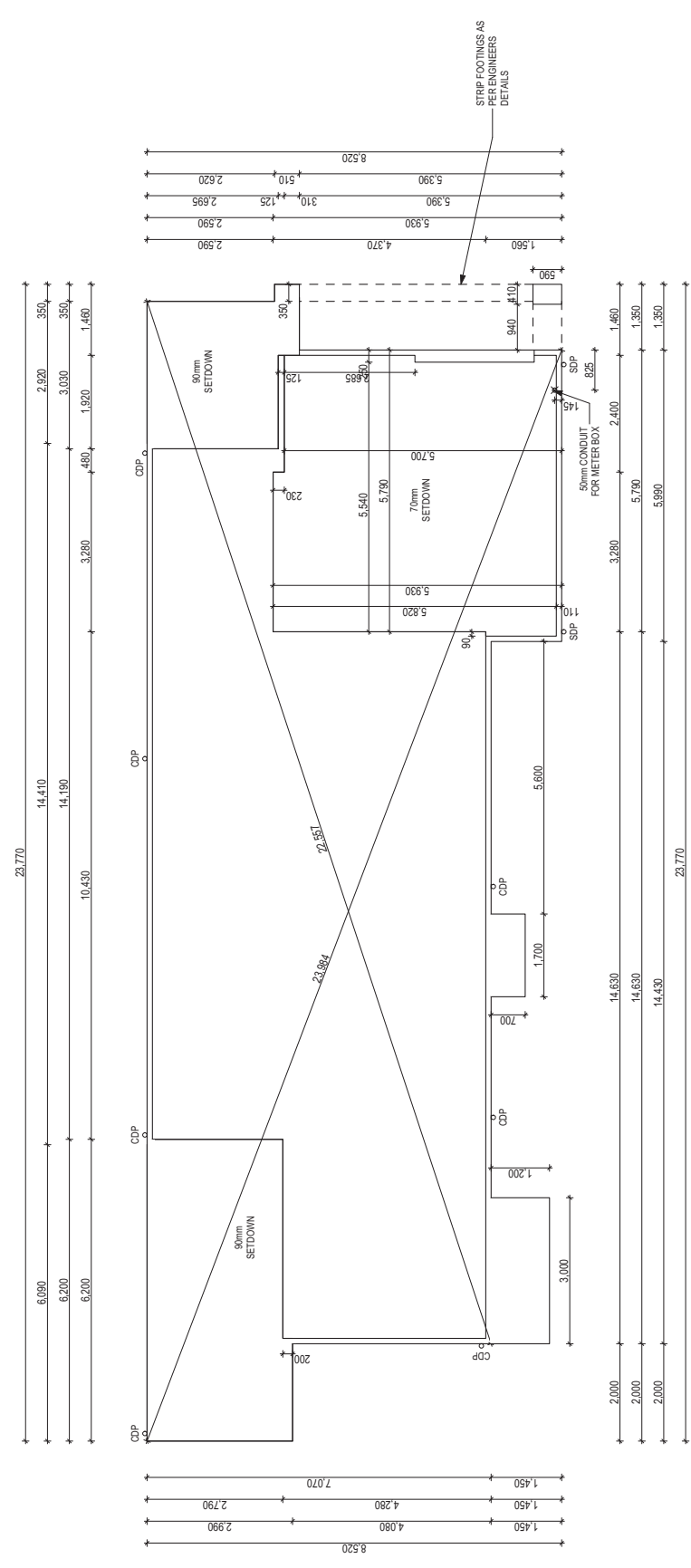
CLIENT:	Mr. ADAM MCKERN & Mrs. PING MCKERN	LOT No:	24
ADDRESS:	SALTWATER CRESCENT	DP No:	1211773
SUBURB:	KELLYVILLE	POSTCODE:	2155
COUNCIL:	THE HILLS SHIRE	SECTION No:	-

HOUSE DESIGN:	TULLOCH 31	HOUSE CODE:	H-TULLCLAD15410
FACADE DESIGN:	CLASSIC	FACADE CODE:	F-TULLCLAS01
SHEET TITLE:	RECYCLED WATER / FLOOR COVERINGS 2	SCALES:	1:200, 1:100
SHEET No:	14 / 15		

DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN ON DRAWING AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.  
**603164**



**BASIX<sup>®</sup> THERMAL COMFORT PROTOCOL**  
**COMPLIANCE ACHIEVED**  
JOB NUMBER: 603164\_v2.0      DATE: 12/01/2017  
ASSESSOR: Claude-François Sooklall      SIGNED: C. Sooklall  
*This project was rated without downlights*  
Simulated under the latest, current version of the BASIX Thermal Comfort Protocol



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**SPECIFICATION:**

1	(i) CONSOLIDATED TENDER	DRAWN	VSA	2016.05.02
2	CONTRACT PLANS	JAO	2016.09.10	
3	ALL REPORTS	JCR	2016.10.15	
4	AMENDED AS PER PCV006	VP	2016.12.19	

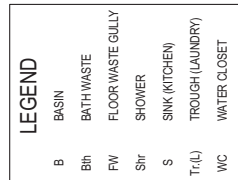
**Two story**  
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**CLIENT:**  
Mr. ADAM MCKERN & Mrs. PING MCKERN  
**ADDRESS:**  
SALTWATER CRESCENT  
KELLYVILLE  
**POSTCODE:** 2155  
**COUNCIL:** THE HILLS SHIRE

**LOT No:** 24  
**DP No:** 1211773  
**SECTION No:** -

**HOUSE DESIGN:**  
TULLOCH 31  
**HOUSE CODE:** H-TULCLAD15410  
**FACADE DESIGN:**  
CLASSIC  
**FACADE CODE:** F-TULCLAS01  
**SHEET TITLE:**  
SLAB PLAN  
**SCALES:** 1:100  
**SHEET No:** 15 / 15

**DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.**  
**603164**





**BASIX® THERMAL COMFORT PROTOCOL**

**COMPLIANCE ACHIEVED** 

**JOB NUMBER:** 603164\_v2.0      **DATE:** 12/01/2017

**ASSESSOR:** Claude-François Sookkoll      **SIGNED:** *C. Sookkoll*

*This project was rated without downlights*

Simulated under the latest, current version of the BASIX Thermal Comfort Protocol

 <p><b>mcdonald's</b> YOUR HOME. YOUR DREAM</p>	<p>SPECIFICATION:</p> <div>  <p>two story</p> </div> <p><a href="http://www.mcdonaldshomes.com.au">www.mcdonaldshomes.com.au</a> © 2016</p>
--	--

CLIENT:	Mr. ADAMI MCKERN & Mrs. PING MCKERN		LOT No:	24
ADDRESS:	SALTWATER CRESCENT		DP No:	1211773
SUBURB:	KELLYVILLE	POST CODE:	2155	SECTION No:
		COUNCIL:	THE HILLS SHIRE	

HOUSE DESIGN: TULLOCH 31	HOUSE CODE: H-TULCLAD15410
FACADE DESIGN: CLASSIC	FACADE CODE: F-TULCLAS01
SHEET TITLE: DRAINAGE PLAN	SCALES: 1:100 SHEET NO: 16 / 15

DO NOT SCALE DRAWINGS, USE  
FIGURED DIMENSIONS ONLY. CHECK  
AND VERIFY DIMENSIONS AND LEVELS  
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603164